

JOB REFERENCE: XXXXX

RESIDENTIAL BUILDING SURVEY

XXXX

XXX

Horncastle
Lincolnshire
LN9 XXX



FOR

Mr X

Prepared by:

XXXXX

INDEPENDENT CHARTERED SURVEYORS



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INTRODUCTION

Firstly, may we thank you for your instructions of 6th April 2016; we have now undertaken an independent Building Survey (formerly known as a Structural Survey) of the aforementioned property. This Survey was carried out on 8th April 2016.

The Building Survey takes the following format; there is an introductory section (which you are currently reading), which includes a synopsis of the building, and a summary of our findings.

We then go through a detailed examination of the property starting with the external areas working from the top of the property down, followed by the internal areas and the buildings services. We conclude with the section for your Legal Advisor and also attach some general information on the property market.

We are aware that a report of this size is somewhat daunting and almost off-putting to the reader because of this. We would stress that the purchase of a property is usually one of the largest financial outlays made (particularly when you consider the interest you pay as well).

We recommend that you set aside time to read the report in full, consider the comments, make notes of any areas which you wish to discuss further and phone us.

We obviously expect you to read the entire report but we would suggest that you initially look at the summary, which refers to various sections in the report, which we recommend you read first so that you get a general feel for the way the report is written.

As part of our service we are more than happy to talk through the survey as many times as you wish until you are completely happy to make a decision. Ultimately, the decision to purchase the property is yours but we will do our best to offer advice to make the decision as easy as possible.

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REPORT FORMAT

To help you understand our Report we utilise various techniques and different styles and types of text, these are as follows:

GENERAL/HISTORICAL INFORMATION

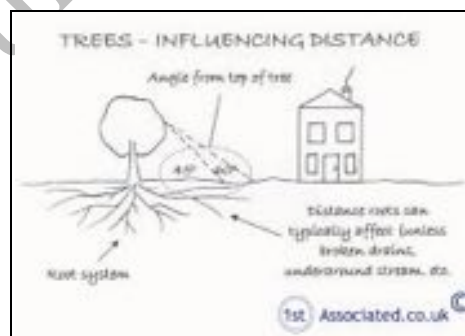
This has been given in the survey where it is considered it will aid understanding of the issues, or be of interest. This is shown in "italics" for clarity.

TECHNICAL TERMS DEFINED

Throughout the Report, we have endeavoured to define any technical terms used. This is shown in "Courier New" typeface for clarity.

A PICTURE IS WORTH A THOUSAND WORDS

We utilise photographs and sketches to illustrate issues or features. In some photographs a pencil, pen, circle or arrow has been used to highlight a specific area. The sketches are not 100% technically accurate; we certainly would not expect you to carry out work based upon the sketches alone.



Influencing distance of trees

ORIENTATION

Any reference to left or right is taken from the front of the property, including observations to the rear, which you may not be able to physically see from the front of the property.

ACTION REQUIRED AND RECOMMENDATIONS

We have used the term **ACTION REQUIRED** where we believe that there are items that you should carry out action upon or negotiate upon prior to purchasing the property.

Where a problem is identified, we will do our best to offer a solution. However, with most building issues, there are usually many ways to resolve them dependent upon cost, time available and the length of time you wish the repair/replacement to last.

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SYNOPSIS

SITUATION AND DESCRIPTION

This is a three storey property that has been amended and extended over the years including extensions and single storey pitched and flat roof extensions. All our directions are given facing the property from the garden. We have assumed the right building is number X and the left building is number Xa; we will use the terms right and left building throughout the report to distinguish these two areas.

Access to number X is via the right side of the property where there is a garage and porch entrance. To the front of the property is another entrance as well as a good sized garden with mature trees all bound by a fairly high brick wall. To the left side of the property is the River Waring which is adjacent to the left building Xa.

Off road parking is available for two cars, possibly more on the right side of the property next to the right side entrance previously mentioned.

The listing for the building identifies the property was built originally in the mid 18th Century and has then had early and late 19th Century additions as well as 20th Century alterations. If the age of the property interests you your Legal Advisor may be able to find out more information from the Deeds.

The property is Grade II Listed with a separate listing for the garden wall, as found in BritishListedBuildings.co.uk, English Heritage Building ID: XXXXX.

ACTION REQUIRED: Your legal advisor needs to check and confirm all of the above.

Putting Life into Perspective!

Some of the things that were happening around the time the property was built:

1718	British convicts transported overseas
1750	The start of the Industrial Revolution
1783	Britain recognised American Independence
1793 – 1800	The Grand Union Canal was built
1837	Victoria becomes Queen of Great Britain
1840	The first adhesive postage stamp the Penny Black is issued, worth much more than a penny today!
1859	Charles Darwin proposes the Theory of Evolution

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GRADE II LISTING INFORMATION

X and Xa, X Street, Horncastle

Description: X and Xa, X Street

Grade: II

Date Listed: 25 March 1987

English Heritage Building ID: XXXX

OS Grid Reference: XXX

OS Grid Coordinates: XXX

Latitude/Longitude: XXX

Location: X Horncastle, Lincolnshire LN9 XXX

Locality: Horncastle

Local Authority: East Lindsey District Council

County: Lincolnshire

Country: England

Postcode: LN9 XXX

House, now 2 properties. Mid C18, early C19, late C19, C20.
Red brick. Hipped concrete tile roofs with 2 hip stacks and single hip stack on extension to north. C18 house of 3 storeys and 5 bays with first and second floor bands and moulded brick eaves.

Central doorway in late C19 gabled, glazed porch, with overlight and three-quarter glazed door. Inner doorway with moulded doorcase, traceried overlight and panelled door.

Doorway flanked by single canted late C19 bay windows, with glazing bar sashes. 5 glazing bar sashes above, with 5 smaller glazing bar sashes above them, all the windows with segmental heads. Early C19 2 bay range to left and C20 doorways and windows. South return with mid C18 semi-circular bow window with 3 glazing bar sashes.

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North Garden Wall of No X and Xa, Horncastle

Description: North Garden Wall of No X and Xa

Grade: II

Date Listed: 25 March 1987

English Heritage Building ID: XXX

OS Grid Reference: XXX

OS Grid Coordinates: XXX

Latitude/Longitude: XXX

Location: X Street, Horncastle, Lincolnshire LN9 XXX

Locality: Horncastle

Local Authority: East Lindsey District Council

County: Lincolnshire

Country: England

Postcode: LN9 XXX

North garden wall. Early C19. Red brick, some ashlar dressings, some tiles. Wall approx. 40 metres long runs along north boundary of No.X and XA. 13 bays with plinth under 6 bays to left and wall dropping in height in eighth bay from left. Regularly placed pilaster buttresses with ashlar set-offs. Doorway to left with semi-circular head and plank door. Opening to right with semi-circular head and shuttered doorway in second bay from right with segmental head and plank door. Tile coped top. Included for group value only.

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EXTERNAL PHOTOGRAPHS



Front view
with left side highlighted



Front view
with right side highlighted
~ Aerial View - 360 Photo ~



Left view - riverside



Right view
~ Aerial View - 360 Photo ~



Rear view
~ Aerial View - 360 Photo ~



Parking area and right entrance



Garden

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RIGHT SIDE **ACCOMMODATION AND FACILITIES**

(All directions given as you face the front of the property)

Basement

The basement accommodation consists of:

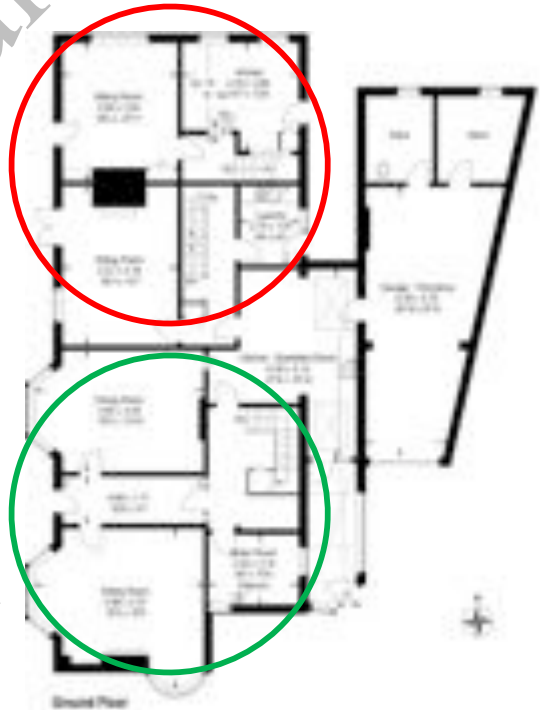
- 1) Cellar area under main left building



Ground Floor

The ground floor accommodation consists of (the circle represents the left side, the green circle is what we consider to be the right side):

- 1) Porch entrance
- 2) Reception room one front right
- 3) Reception room two front left
- 4) Front door entrance area/corridor
- 5) Small room rear right
- 6) Kitchen rear middle
- 7) W.C.
- 8) Garage, workshop and coal bunker area far left



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First Floor

The first floor accommodation consists of:

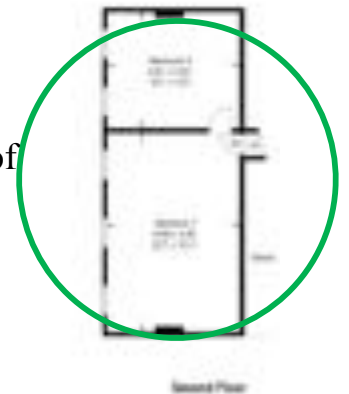
- 1) Bedroom front right
- 2) Small middle room
- 3) Bedroom left
- 4) Bedroom rear right
- 5) Stairs rear middle
- 6) Bedroom rear left



Second/Top Floor

The second/top floor accommodation consists of:

- 1) Room right
- 2) Room left (used as a store and has access to roof space)
- 3) Stairs/landing rear



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LEFT SIDE/ANNEXE

ACCOMMODATION AND FACILITIES

(All directions given as you face the front of the property)

Ground Floor

The ground floor accommodation consists of (the red circle represents the left side):

- 1) Room front left
- 2) Room rear left with unfinished kitchen

First Floor

The first floor accommodation consists of:

- 1) Bedroom front left
- 2) Bedroom right
- 3) Shower room rear left
- 4) W.C. rear left
- 5) Landing rear right with access to roof

Outside Areas

The property has a garage and off road parking for two cars. To the front of the property is a good sized garden with mature trees. To the left side of the property is the River Waring.

Finally, all these details need to be checked and confirmed by your Legal Advisor.



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RIGHT SIDE - INTERNAL PHOTOGRAPHS

The following photos are of the internal of the property to help you recall what it looked like and the general ambience (or lack of).

Basement



Stairs



Basement



Window next to River Waring



Opening to centre of basement



Damp meter reading

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Right Side
Ground Floor



Right side entrance



Close up of right side entrance



Reception Room Two front left



Original old entrance lobby area



Reception Room One front right



Kitchen rear middle



Small rear right room



W.C.

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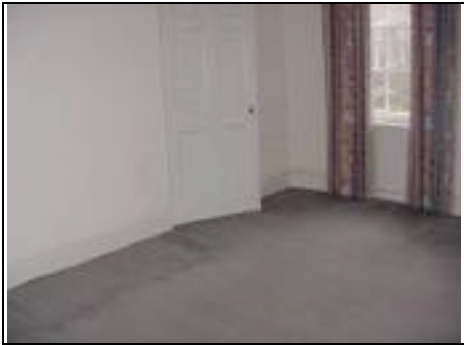
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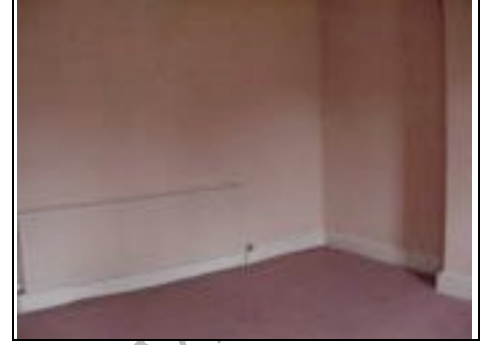
Right Side
First Floor



Bedroom front left



Small front middle room



Front right bedroom



Stairs



Bathroom rear left



Bedroom rear right

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Right Side
Second/Top Floor



Left room



Left room



Right room



Right room



Cracking below window in right room



Rear left roof



Rear right roof

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LEFT SIDE/ANNEXE - INTERNAL PHOTOGRAPHS

Left Side **Ground Floor**



Reception room
French doors leading to garden



Reception room



Stairs looking up



Kitchen unfinished in rear left
side/annexe



Utility room

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Left Side
First Floor



Bedroom Front left



Bedroom right



Landing



W.C. rear left



Shower room rear left

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SUMMARY OF CONSTRUCTION **(For whole building)**

External

Chimneys:	Five brick chimneys
Main Roof:	Left: Pitched, clad with roman style concrete tiles Right: Modern concrete tile
Main Roof Structure:	Cut timber Kingpost roof
Low Level Roofs:	
Flat roof over kitchen:	Felt flat roof with two large roof windows
Right side entrance:	Glazed roof to right side with brick parapet wall
Front entrance:	Glazed porch entrance
Bay windows:	Lead roofs to two bay windows
Bow window to right:	Bow/Semi-circular window with older style felt roof
Garage Roof:	Slate to front and pantiles to rear
Gutters and Downpipes:	Cast iron and Plastic
Soil and Vent Pipe:	Plastic
Walls:	Mixture of brick bonds including: English Bond, Flemish Bond and Stretcher Bond Brickwork Render and stucco render (all assumed)
Fascias and Soffits:	Painted timber
Windows and Doors:	Timber sliding sash windows with and without window sills Plastic windows to rear (fine-able under listed building criteria) Metal windows

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Internal

Ceilings:	Lath and plaster, some areas with modern plaster particularly the left side (assumed)
Internal Walls:	Mixture of solid and structural studwork and non-structural studwork (assumed)
Perimeter Walls:	Predominantly lath and plaster and older plaster Modern to left side (assumed)
Floors: Basement:	Brick tile (assumed)
Ground Floor:	Suspended floor/ Joist and floorboards with embedded timbers (over cellar) Solid floors both old and modern, concrete where visible (all assumed)
First Floor:	Joist and floorboards with embedded timbers, joists running front to back (left building) and side to side (right building) (all assumed)
Second Floor:	Joist and floorboards with embedded timbers, joists run side to side

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Services

We believe that the property has a mains water supply, mains drainage, electricity and gas (all assumed).

- Heating: There is a floor mounted Glow worm boiler located in ground floor rear right room.
Water softener in the shower room on left side first floor
- Electrics: Right side: The electrics are 1980's/1990's and are located in the front right room

Left side/annexe: The electrics are 1990's/2000's in proposed kitchen area
- Gas: The consumer unit was located in the small rear right room on the ground floor of the right side of the building.
- Drainage: The manhole is located to the rear left, the route is likely to be hidden under the rear buildings of the property

We have used the term 'assumed' as we have not opened up the structure.

ACTION REQUIRED: Your Legal Advisor needs to check and confirm the above and advise us of anything they require further clarification on before legal commitment to purchase the property.

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EXECUTIVE SUMMARY

Summaries are not ideal as they try to précis often quite complex subjects into a few paragraphs. This is particularly so in a summary about someone's future home when we are trying to second-guess what their priorities are, so it is important the Report is read in full.

It is inevitable with a report on a building of this nature that some of the issues we have focussed in on you may dismiss as irrelevant and some of the areas that we have decided are part of the 'character' of this property you may think are very important. We have taken in the region of 700 photographs during the course of this survey and many pages of notes, so if an issue has not been discussed that you are interested in or concerned about, please phone and talk to us before you purchase the property (or indeed commit to purchasing the property), as we will more than likely have noted it and be able to comment upon it; if we have not we will happily go back.

We have divided the Executive Summary into 'The Good', 'The Bad' and 'The Ugly', to help distinguish what in our mind are the main issues.

Once you have read the report we would recommend that you revisit the property to review your thoughts on the building in light of the comments we have made in this survey.

The Good

Survey reports often are full of only the faults and general 'doom and gloom', so we thought we would start with some positive comments on the property!

- 1.0) Vacant possession with potential.
- 2.0) Older properties typically have more space than newer properties, both in the actual size of the rooms and the height of the rooms.
- 3.0) Some of the property has been refurbished and decorations are to a reasonable standard although equally this could be hiding latent defects.
- 4.0) The property has some of the original features left, which add to the overall character of the property, also this is a Grade II listed building which means there are obligations and restrictions over and above those normally found within a property.

We are sure you can think of other things to add to this list.

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The Bad

Problems / issues raised in the 'bad' section are usually solvable, but often need negotiation upon. However, a large number of them may sometimes put us off the property.

1.0) Chimneys

The property has five large chimneys which are generally in a below average condition.

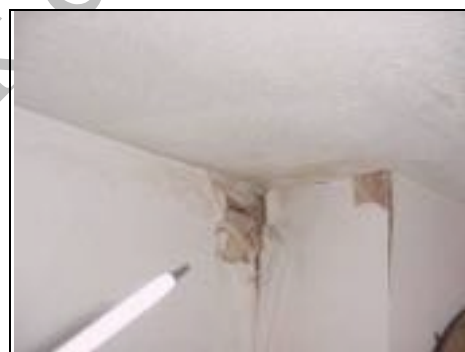
There are an above average number of leaks visible within the property particularly to the upper floor. We believe this probably relates to a mixture of poor quality workmanship/repairs and the use of old and new materials to the chimneys as well as to the gutters and downpipes which we talk about later on.

Deterioration to brickwork

There is deterioration to the brickwork, for example we can see spalling has occurred and they have been repaired wrongly in cement mortar. Also, there have been poor quality repairs to the flashings.



Right chimney
Poor quality repairs and plant growing



Leak from chimney one in top floor right room



Spalling brickwork from chimney falling onto roof



Poor quality cement repairs

ACTION REQUIRED: All chimneys to be checked and overhauled including the flashings being checked and re-bedded as necessary. We believe each chimney needs looking at closely and good quality work carried out.

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For example we are aware that during the course of the survey you mentioned the right chimney had been repaired. We can still see grass growing out of it and poor quality repairs and we are obtaining damp meter readings in this area so the work that has been carried out is poor and incomplete which unfortunately is typical of what we have seen to the other chimneys as well.

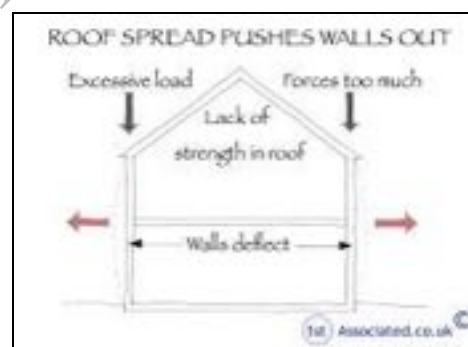
ANTICIPATED COST: £5,000 - £10,000, access scaffolding will be required; please obtain quotes. Some of the poor quality work cement mortar that has been carried out will have to be unpicked, etc, which unfortunately makes this job harder than if nothing at all had been done, not to mention the extra damage that has been caused.

2.0) Roofs

The original roofs have been replaced with a heavier concrete tile roof which can cause problems with roof spread and general changing of loading on the property.

2.1) Right Roof

The right roof is a hipped roof, which are integrally unstable and effectively lean on themselves for support and can result in the pushing out of external walls.



Roof spread

ACTION REQUIRED: We would recommend the entirety of all the roofs, particularly this main roof, are fully lit, with access ladders added and boarded out to allow a close inspection. The inspection we carried out was by torchlight and had limitations.

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2.2) Left Roof

We particularly noted the left side of the roof where there seems to be problems of gauging the tiles correctly. This has resulted in a doubling up of tiles to the rear of the property and an out of alignment of the tiles to the front of the property. We believe that this has contributed to the dampness that can be seen inside to both the ceilings and the walls; further investigation needs to be carried out but fundamentally the roof gauging is the problem.



Right roof (green)
Left roof (red)



Doubling up of concrete tiles to rear



Badly gauged/tipping of concrete tiles/no tilting fillet to left side of front roof



Leak to top floor left bedroom

ACTION REQUIRED: Whilst the work to the chimneys and guttering is being carried out we would recommend that sections of the left hand roof are investigated to see the condition particularly to the perimeter of the roof (we would also recommend that you investigate the right side of the roof as well) so you can get to understand what is happening with the roof construction particularly on the left side.

We do feel that should the best way forward be to re-roof the Conservation Officer may not want a concrete tile on the property and as ultimately re-roofing of the left side of the property may be more appropriate, the Conservation/ Listed Building Officer will be able to guide you as to what roof tile to use; slate may be more appropriate as it is lighter however it would change the look of the property considerably and you would certainly need the approval of the Conservation/Listed Buildings Officer.

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3.0) Over-insulation of roof

We can see the roof has been insulated. We believe it has been over-insulated for a property of this age, type and style and we cannot see any ventilation. Ultimately this will cause problems with the timbers in the roof leading to condensation possibly increasing woodworm activity etc (we would expect this roof to have some woodworm although from what we can see there is no significant woodworm damage and most woodworm is no longer active).



Over-insulated

ACTION REQUIRED: We would suggest that vents are added into the roof covering to reduce the chances of condensation, wet rot, dry rot and woodworm, etc. Also see our notes about adding lighting, ladders and boarding to the property to allow a closer investigation.

ANTICIPATED COST: A few hundred pounds; please obtain quotations.

Please see the Roof Structure Section of this Report.

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4.0) Gutters and downpipes

The property has a mixture of gutters and downpipes of cast iron, plastic and asbestos (noted to left and rear part of property - there may be more asbestos).

We can see lots of dampness inside the property. This, we believe, is due to the gutters and downpipes not catching and collecting the water properly and discharging it down the walls,

For example:

We have mentioned on the left hand side of the roof the defects in the roof covering which are leading to rainwater discharging down the walls (which ironically has then meant inappropriate repointing of the property in a cement mortar so one problem which has been wrongly solved has then caused another problem so we need to start with basics here and solve the problems with the gutters catching the water).

The rainwater from the gutters and downpipes discharging against the buildings walls will be adding to the dampness in the property as a whole and causing all sorts of other problems which we explain further on within this report.



Asbestos guttering to rear



Top floor right bedroom modern textured paint ceiling indicating there has been problems in roof



First floor far left bedroom dampness coming in underneath concrete tiled roof with tiles that are wrongly gauged.

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The next time it rains you need to check how much rainwater the gutters and downpipes are collecting and how much rainwater is discharging down the building. It may be necessary to do a hose pipe test on the roofs to get this right; you certainly need to get the situation sorted out before the winter of 2016.

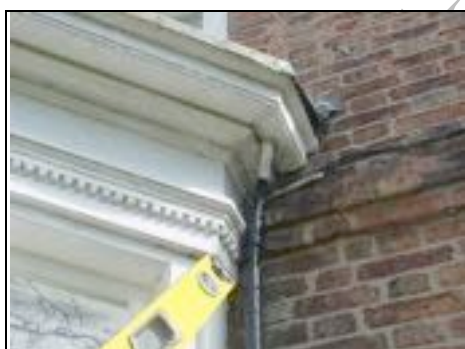
We also noted general lack of maintenance to the gutters and downpipes; there are areas of grass growing from the gutters and downpipes that were not secured properly or fixed properly.



Microscope photo of the brickwork indicating salts discharging down the walls meaning the gutters / roofs are not working properly



Awkward detailing from rainwater goods



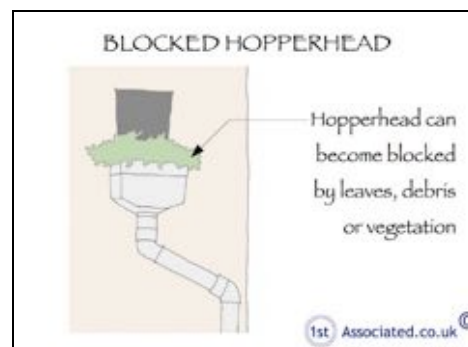
Ultra thin downpipe to front right bay window



Vegetation growing out of gutters and general lack of maintenance

Hopperheads

We also noted a number of hopperheads which we do not believe will be able to cope with heavy downfalls. Whilst these are standard sized hopperheads they are unlikely to be the size of a hopperhead that was originally on the property so we would be looking to make these larger once you have checked to see if they can cope or not.



Hopperhead easily become blocked with vegetation

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ACTION REQUIRED: General maintenance and upgrading of the gutters and downpipes. You need to do a physical check on this property to ensure the rainwater is being captured by the gutters and downpipes and taken away. We would recommend that all the asbestos gutters are removed with the appropriate safety measures (it would be best to do an asbestos check on the whole property). Our insurance company requires us to advise we are not asbestos surveyors and advises us to recommend asbestos surveyors are instructed and that you have your own asbestos survey carried out.

We note that a number of the downpipes discharge into the base of the property which is adding to the dampness in this area. We would recommend that a new soakaway is added five to six metres away from the property to take any water discharged from the building away from the property and also possibly the addition of a French drain (please see our later comments).

ANTICIPATED COST: In the region of £5,000 - £10,000, access scaffolding will be required and also asbestos removal costs over and above this figure; please obtain quotations for removing the asbestos.

Please see the Gutters and Downpipes Section of this Report.

5.0) Flat roofs and valley gutter problems

There are valley gutter problems to the garage/workshop area which we can see part has been repaired in lead but this needs double checking to ensure it is watertight.



Valley gutter problems

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Valley gutter repaired that was allowing dampness into garage



Valley gutter problems, part repaired in lead but needs double checking this is watertight

ACTION REQUIRED: This problem may well have been resolved although we were still getting some damp meter readings in this area. We would suggest that you speak to the owners and ask them when the roof work was carried out and whether there is any form of guarantee. We suggest that a dye water test on the flat roof and the valley gutter areas to check and test it is watertight (use a coloured water so you can establish if it is a new leak or not). If it is not watertight then patch repair and we would recommend that if the areas are replaced that an insulation cut to falls is used as well as a high performance felt.

Please see the Roof Coverings Section of this Report.

6.0) Flat roofs

Considering the flat roofs in more detail, the flat roofs to the rear of the property are coming to the end of their natural life. Of course such roofs could be patch repaired forever and a day however the fundamental problem with this flat roof is that it is a flat flat roof and there is a fair amount of leaves, etc on the roof which is not helping matters. The basic problem we feel is the lack of a fall.



Flat roof

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ACTION REQUIRED: We would recommend that insulation cut to falls is added to the roof using a high performance elastomeric felt.

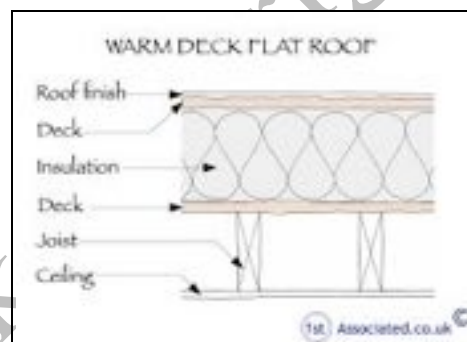
As discussed we would not use a glass fibre roof as this is a solid structure that has not got the movement required in an older property and also there may be listed building problems with regard to the use of this material.

ANTICIPATED COST: £5,000 - £10,000; please obtain quotations.

Please see the Roof Coverings Section of this Report.



Flat roofs to rear

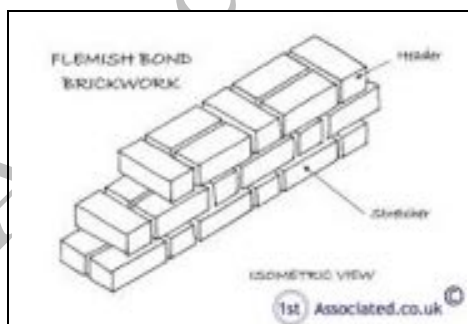


Warm deck flat roof

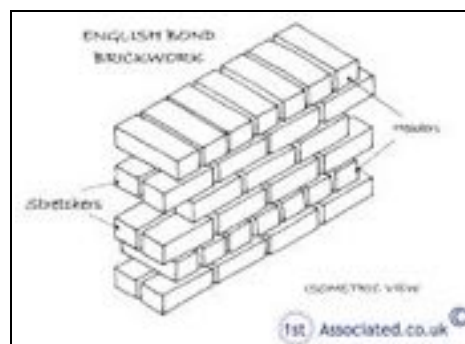
7.0) Walls and joists

Walls

The walls to this property are built in a variety of brick bonds, including older style solid wall construction including Flemish bond and English bond brickwork which we believe has led in part to the movement.



Flemish bond brickwork



English bond

The front wall of the property is built predominantly in a Flemish bond brickwork which has been repointed in a cement mortar which unfortunately means that it retains more moisture than it should. This, together with the problems with the guttering has led to a damp external wall which we believe has led to movement.

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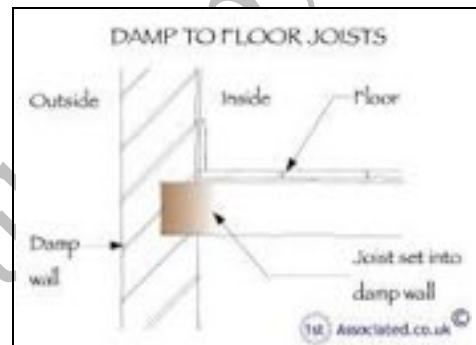
Movement/twist in brick string course and associated brickwork
~ Aerial View - 360 Photo ~



String course
~ Aerial View - 360 Photo ~

7.1) Joists

In addition to this the joists to the property go both side to side and front to back. These joists, as well as forming the floors, tie the property together. It is likely that they will have been embedded timbers. The condition of these needs to be checked and repairs and tying in to the walls carried out as necessary.



Embedded timbers



Joist floor plan timbers

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Floor joists – a more detailed look

The joists of the first and second floor run as follows:

First Floor:

Right front first floor ceiling: Side to side

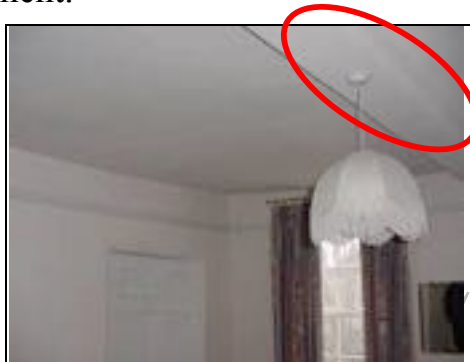
Left front first floor ceiling: Front to back

Second floor:

Right and left side: All joists run side to side

This means that the right side of the main property does not have any joists tying in on the front wall elevation which has resulted in the movement.

Having said that, we do believe that the movement has probably settled into place as cement mortar, although not good for old buildings, does tend to show any movement.

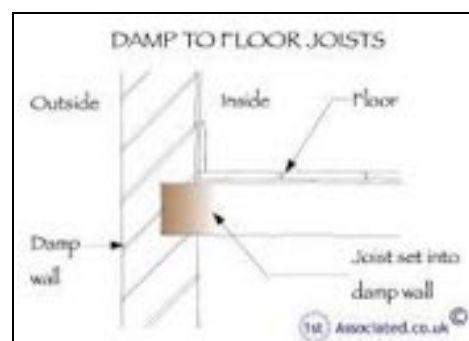


Spine beam running front to back
meaning joists run side to side



Top left room
Floorboards running front to back
therefore joists running side to side

ACTION REQUIRED: The front wall needs to be tied into the floor structure. We would also recommend the checking of all joists where they meet the main wall as they are likely to be embedded timbers and there may well be some deterioration that has occurred that can be repaired which would help stabilise the property further. The property has been repointed in a cement mortar which does tend to indicate cracking and this is minimal on the external of the property around the window area from what we can see.



Embedded timbers

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There are internal cracks to this area but it tends to be where stud walls meet the brick walls. These should also be opened up and checked and tied in to the front wall.

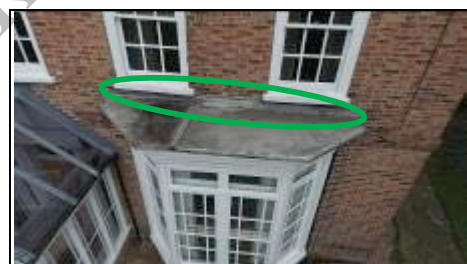
7.2) Bay windows

There are two bay windows to the front of the property. Both bay windows have large long beams/lintels underneath them which are likely to be timber. We can see that there has been minimal movement to the left bay and normal movement to the right bay which is directly below the area of brickwork movement. Nevertheless we would like these beams to be checked and inspected as they can be weak areas.



Bay windows (red ovals – with roofs circled in green)

ACTION REQUIRED: Open up the areas around the bay window and expose the beams/lintels and check the condition of the beam.



Bay window to right, beam will run under the windows where it meets the wall

Insurance claim

To be absolutely certain and to limit your liability we would recommend the existing owners take out an insurance claim, advising that the cracking has been noted by a chartered building surveyor/chartered building engineer (this should cost them nothing other than time to write the letter). This usually means that the insurance company will carry out a monitoring exercise (the Building Research Establishment recommend monitoring any cracks for a minimum of one year) to establish if there is any progressive movement. Your future liability will be limited to the cost of the excess on the insurance providing the insurance company is happy for you to take over the insurance claim.

Your solicitor needs to ensure this is a legally watertight process and ensure your liability is limited to paying the excess on the insurance only.

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ANTICIPATED COST: An insurance claim will limit your costs usually to the excess which may be a few thousand pounds on a Listed Building, or alternatively if you have to carry out this work we would estimate costs in the region of £5,000 to £10,000 depending upon what is found when the walls are opened up. The worst case scenario would require some new joists and tying in, a bad case scenario would be tying in only, and the best case scenario would be no tying in and just monitoring and establishing that the building can now sit securely in its new position.

8.0) Walls and repointing

The walls have been repointed in a cement based mortar; this should be replaced with a lime based mortar as it is taking the face of the brickwork away as the mortar mix is too hard and ultimately will create what we term as spotted dog effect on the property. Unfortunately worse still, some of the bricks that have had the faces damaged have had a cement covering on them which should be removed and either the bricks replaced or taken out and reversed if suitable.



Spotted dog effect



Cement repointing



Cement mortar with lime underneath causing spalling to brickwork



Cement repairs spotted dog effect to brickwork

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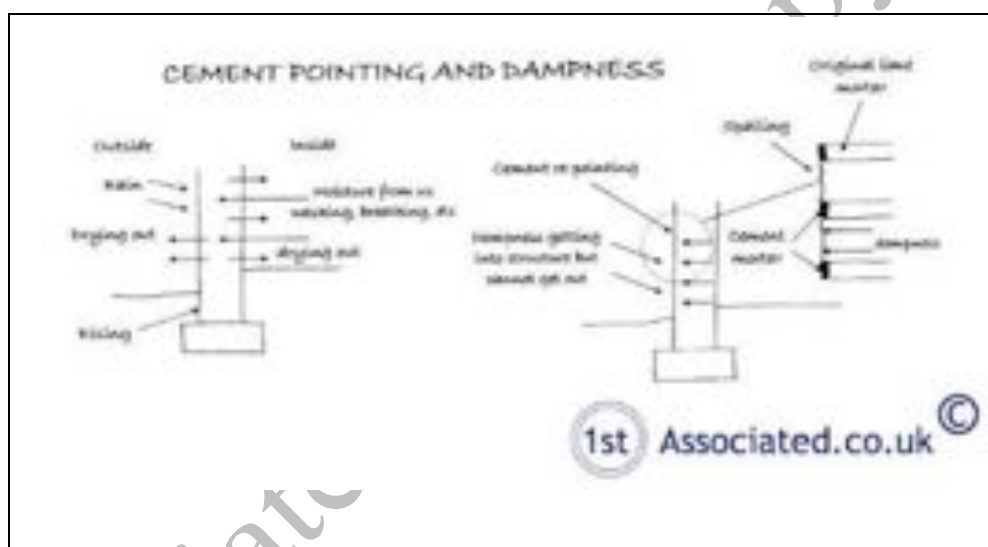


8.1) Lime Every Time

Inappropriate Cement Mortar Re-pointing - for the Age of this Property

We would draw your attention to the cement mortar re-pointing that has been carried out on the exterior of the property that we feel is not appropriate to this building. Originally it will have been built with a lime-based mortar and this is what should be used for any re-pointing in the future.

The use of cement mortar causes deterioration to brickwork and does lead to the face of the bricks deteriorating, which in turn leads to dampness. This is a very important point.



ACTION REQUIRED: We would recommend you find a bricklayer who is experienced with older properties and lime mortar to carry out repointing of the brickwork over the summer months for the next few summers using a soft brush to remove any cement mortar. The only good thing generally with cement mortar repointing is that it does ultimately fall out on its own. Replacing the cement mortar with lime mortar will help the dampness problems that we are finding in the property which in turn are causing problems with the floor joists that are embedded into the walls.

ANTICIPATED COST: £10,000 - £15,000; please obtain quotations.

Please see the Walls Section of this Report.

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9.0) Cracks

Cracks were noted throughout the property. We believe that these are in line with the problems that we have identified which we feel are acceptable in this age, type and style of property.

As with many older properties there has been a mixture of old and new materials used which have potential movement to properties for example the cement mortar and the lime mortar to the brickwork as well as the brick walls and the stud walls. We believe that the cracks have become more prominent as the building has been left empty and has not been decorated for some time.

9.1) Left side

The left side of the building is a good example of works that have been carried out to a Grade II listed building by a builder who does not have an understanding or knowledge of listed buildings. The building has been treated like a modern building and has had a modern gypsum plaster applied to it. Modern gypsum plasters cannot cope with movement in properties or dampness in the same way that older lime plaster can. We would expect cracking to occur in this area of the property although it is present to what we would class as new work.

We have included photographs of a selection of the cracks within this report which we believe are consistent with the problems with this property. We recommend these are monitored throughout the term of carrying out the works to the floors, etc that we have previously mentioned.

9.2) Historic defects

We would also draw to your attention that some of the defects in this property are historic and we believe have been present for a long time for example we can see that the rear right chimney has had a retaining wall added to it which leads us to believe there has been some movement to the rear of the property. We can also see that the area has been rendered using a stucco style render (to give the impression of stone) which we believe is hiding defects in this area. We also note the area beneath is newly replastered and as such we would recommend opening up this area.

ACTION REQUIRED: Open up the area to the rear of the property.

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9.3) Cracks internally to rear entrance area

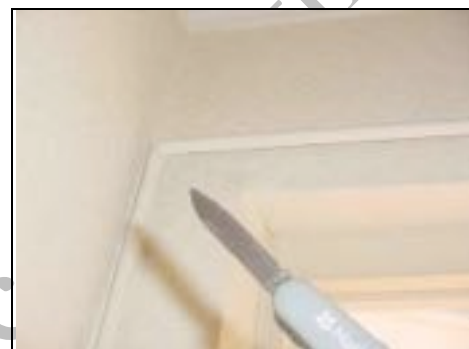
A modern plaster has been used to the rear of the property. The movement that we can see is around openings such as doors and windows, although it could be hiding major structural problems it does look to be typical of differential movement that we often find in properties such as this.



Crack internally to rear entrance lobby area



Crack to rear entrance lobby area



Cracking to rear conservatory/porch area

9.4) Cracking to bow window

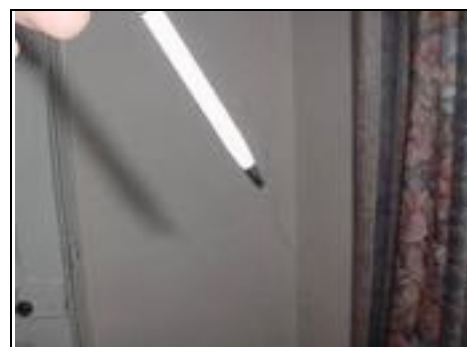
We believe the crack to the bow window relates to the movement to the rear right side of the property.



Crack to front bow window

9.5) Differential movement

In several cases there is cracking between brickwork structural walls and studwork walls.



First floor left room of main building. Crack between studwork and main wall

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Top floor right room raking crack relating to movement to window below



Top floor right bedroom. Crack between front wall and studwork.



Top floor right bedroom cracking which we believe relates to movement to front wall and direction of joists discussed earlier

We believe this relates to the loss of a cross bracing from the front walls and possibly the heavier concrete tile roof contributing to the problem. We do feel this is historic and has now probably settled in place however we do feel also that monitoring should be carried out for a year whilst carrying out the repair work to the floors.

ACTION REQUIRED: Whilst the repair work is being carried out to the floors and further investigation we would also recommend monitoring of the cracking.

10.0) Modern plasters and plastic based paint

Considering the right side entrance we can also see additional problems have been created over and above the use of modern plasters as a modern plastic based paint looks to have been used. Unfortunately both modern plasters and plastic based paints are unable to deal with any movement in a property and any dampness. When investigations are carried out in this area we would recommend they are replaced with lime based products.

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Crack in conservatory



Modern plaster in conservatory not coping with seasonal movement in property

ACTION REQUIRED: We recommend this is replaced with a lime based plaster using a water based or lime paint onto the wall (or a micro-porous paint) all to the approval of the Listed Building/Conservation Officer.

ANTICIPATED COST: £2,500 – £5,000; please obtain quotations.

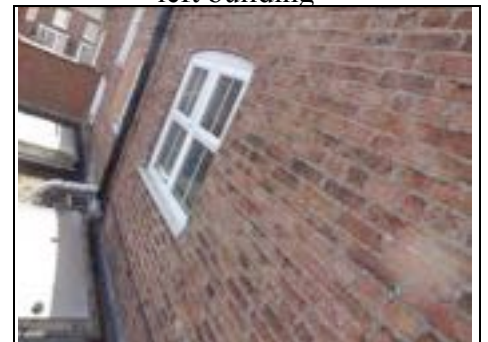
11.0) Window repairs and replacement and plastic windows

It was noted that some of the older windows have been repaired and replaced with modern windows. Our concern is that the older windows were of a structural quality timber whereas modern soft wood timbers do not have the same strength.

We also note there is plastic double glazed windows to the rear of the property which of course are not allowed on a listed building without consent as indeed timber windows are not allowed without consent.



Modern 1970's timber windows to left building



Plastic window to rear

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ACTION REQUIRED: Approach the owners/Conservation Officer and ask whether consent was obtained and also if there is a specification available on the quality of windows. Unfortunately windows that do not have any structural strength will cause problems on the rear elevation in due course. When work on the windows is taking place you need to also check the lintels above the windows as these are likely to have been timber originally and may still be in place. You need to check and ensure that the window sill detail is appropriate for this age, type and style of building. For any windows that you do put in get agreement with the Conservation Officer.



Timber lintel in coal bunker which indicates there may be other timber lintels

Please see the Windows and Doors Section of this Report.

12.0) Dampness

There was a fair amount of dampness in the property however it is an old property and you should not expect an older property to be as dry as a modern property. There are several reasons for the dampness:

1) Inappropriate cement mortar repointing

Inappropriate cement mortar repointing which has stopped the walls from breathing and the walls are taking in rainwater, etc. and then not being able to dissipate it.

ACTION REQUIRED: Repoint in a lime based mortar.

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2) High ground level

There are high ground levels around the property which should be reduced to all sides. To the rear of the property on the left side we can see specific problems with regard to the rear access to the property where modern cobbles seem to be discharging water against the building.



High ground level



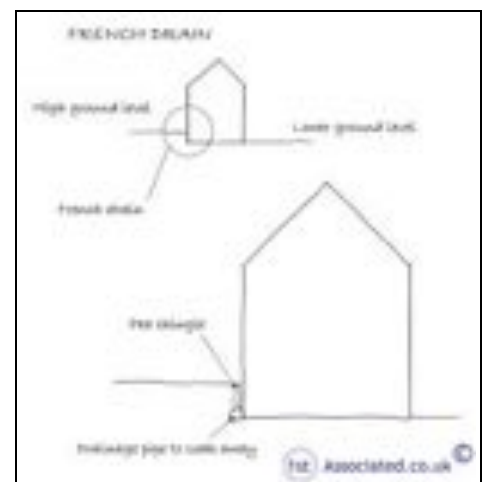
Change in ground level



Water sitting on courtyard

ACTION REQUIRED: We would recommend that a French drain is added. There is a nearby manhole that the perforated drain can discharge into. This should help reduce the dampness further.

Once you have looked into these areas and carried out the work, if dampness persists we would then look for leaking pipes and we would also carry out closed circuit TV camera reports with regard to the drainage.



French drain

ANTICIPATED COST: £3,000 - £5,000; please obtain quotations.

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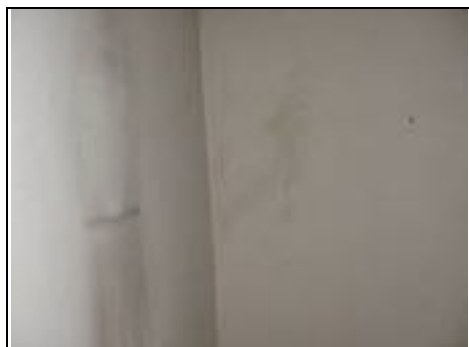
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12.1) Internal dampness

We also found areas of dampness to internal walls. As far as we can see there is no obvious reasons for this other than the high ground level that we have mentioned together with the courtyard not discharging water away and the slope on the site. There is an outside possibility that there are damaged pipes within the walls which we have come across before, however in the first instance we would carry out the work as mentioned in the high ground level section.



Dampness in front left bedroom of left building/annexe



Damp to ceiling of left building/annexe



Dampness

12.2) Dampness to rear lobby/utility room

There is one area we would specifically comment upon with regards to internal wall dampness which is the rear lobby/utility room. Please see our comments with regard to adding a French drain.

ACTION REQUIRED: We would add that we recommend the existing modern plaster is removed from the wall and brickwork exposed and allowed to dry out. We would also recommend that a timber dado and vertical boarding is added in this area as drying out of the building is likely to take a long time.

Please see the Dampness Section of this Report.

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13.0) Sloping site

It may be deceptive but any property near a river or stream or culvert will be on a slope that slopes towards the river, stream or culvert. In this case we can see the driveway has a particular slope on it meaning that any water will discharge into the garage.



Sloping site



Stream to left



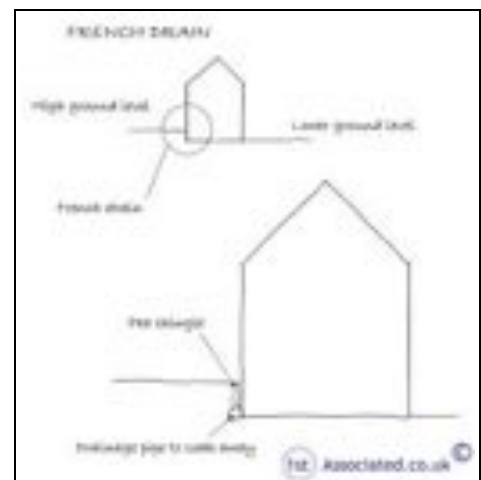
Slope towards garage



Sloping site

ACTION REQUIRED: We would comment that we do not believe that the existing narrow gulley works and we would recommend the adding of a running gulley or French drain. We would recommend it discharges to a new soakaway; please see our comments with regards to the rainwater gutters and downpipes.

ANTICIPATED COST: As detailed in the rainwater gutters and downpipes; please obtain quotations.



French drain

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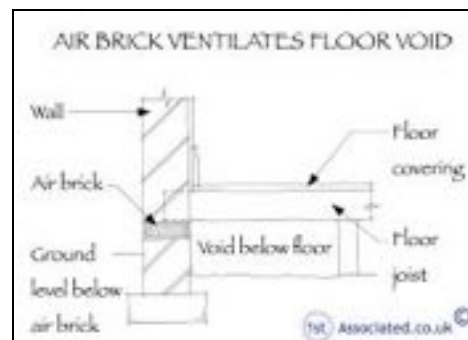
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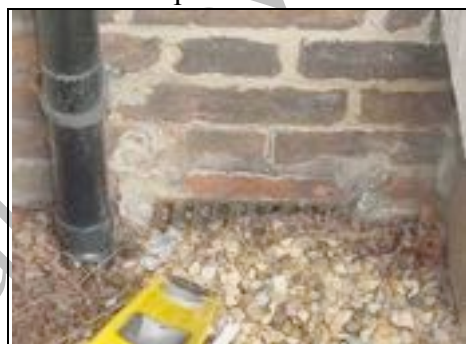
14.0) Suspended timber floor

There is a suspended timber floor to the right side of property and joists and floorboards to left side of the property. There needs to be good airflow to both areas. Currently there is a high ground level which is blocking them.



Suspended timber floor

ACTION REQUIRED: We would recommend the high ground level is lowered and the grills are checked to ensure there is a good through flow of air under the floor. Open up a section of the floor to check the condition underneath it as again, we believe it is better to be safe than sorry.



Air brick to front right

ANTICIPATED COST: £1,000 - £2,000 for lowering ground level around airbricks and adding protection to ensure they do not act as gutters, this is similar to the protection that has been given to the window area. Please obtain quotations.



Protect airbricks

Please see the Airbricks Section of this Report.

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15.0) Flooding

The River Waring runs alongside the property. Our local contact advised that the area flooded in 2012. We have obtained information with regards to the floods in 2012 from The Environmental Agency and River Levels.UK and the Horncastle News – please see the Appendices.



Window of cellar blocked to stop flooding

ACTION REQUIRED: With the changing weather patterns that we have where we tend to have more intense rainfall we believe it is likely that flooding will occur again. There is little that can be done about it, it is part of the bigger picture of our weather patterns and the drainage of the area.

The building has withstood floods in the past and we do believe older style buildings can cope with flooding far better than a modern construction however we also feel it is sensible that precautions should be taken such as the partial closure of the window to stop any medium rising of the nearby River Waring, we also feel that a sump pump should be added which discharges into a soakaway within the garden that we would recommend is positioned away from the river to the roadside of the garden which would then give the best chance of it functioning during medium sized flood emergencies.

As well as the action recommended above we would also recommend that you speak with insurers with regard to insuring the property.

We would add that we do feel that this is a characteristic of this property that it may well flood and indeed the properties in the area. We noted in the valuation that they have made an assessment based upon this being considered a flooding area and this has been incorporated in the value (or a reduction in the value is probably a more correct phrase).

ANTICIPATED COST: A sump pump in the region of £500 - £1,500 and a new soakaway for the rainwater drains as discussed earlier; please obtain quotations.

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16.0) Stairs

We noted some of the staircases as we went around the building moved and would benefit from being secured. It may well be that they are bedded into the walls which as we have mentioned are fairly damp and have over time deteriorated or it could be that they need a general overhaul.



Stairs move

ACTION REQUIRED: Secure all staircases, check for rotten timber and repair as necessary.

ANTICIPATED COST: £750 - £1,500; please obtain quotations.

Please see the Internal Joinery Section of this Report.

17.0) Listed Building alterations without permission

We would recommend you speak to the Conservation Officer/Listed Building Officer with regard to this property to see if they have a photographic record of its condition as many local authorities do have. It will then be worth comparing this against the condition and way the building presently is, as we do feel a lot of alterations and amendments have been carried out.



Plastic window to rear

You should be aware that any amendments that have been carried out without approval become your liability and your risk. This can be insured against by the owners but you do need to establish this before you purchase the property.

ACTION REQUIRED: We would recommend you visit the Conservation Officer/Listed Building Officer before you commit to purchase. Your legal advisor should write to them specifically requesting whether permissions have been obtained for the plastic windows being added to the rear of the property, for the roof windows to the flat roof, the repointing of the property in a cement mortar and the refurbishment of the left side of the building. We can provide a full list if you so require.

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18.0) Condensation

Sorry to reiterate however we do believe it is important with regards to the left side of the property to advise that a mixture of old and new materials have been used. We note that modern plaster has been used in a relatively small shower room. We do feel there is a chance of condensation occurring in this room.



Shower room rear left

ACTION REQUIRED: We would recommend large humidity controlled extract fans are added to the kitchen, the bathroom and any areas that are used for drying clothes internally during winter months (we would assume that clothes will be dried externally during the warmer months). By large extract fans we mean 150mm. It is likely that replastering work will ultimately be needed in this area.

ANTICIPATED COST: We would anticipate costs between £250 - £500 per extract fan depending upon the wiring required. We always recommend quotes are obtained before work is agreed/commenced.

Please see the Dampness Section of this Report.

19.0) Mixture of old and new materials

With regards to the left side of the property there seems to have been a mixture of old and new materials. There may have been consideration given to the age of the property when this work was carried out however it does not look like there has been, in which case we would expect cracking in the plaster in the property as it dries out. It would have been far better to carry this out in a lime based plaster.

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20.0) Services

20.1) Dated electrics/lack of socket points

The electrics are 1970's to 1990's in the right hand building, they looked to be relatively new in the left building therefore certificates required.

ACTION REQUIRED: We recommend an Institution of Engineering and Technology (IET) test and report to be carried out by an NICEIC registered and approved electrical contractor or equivalent.

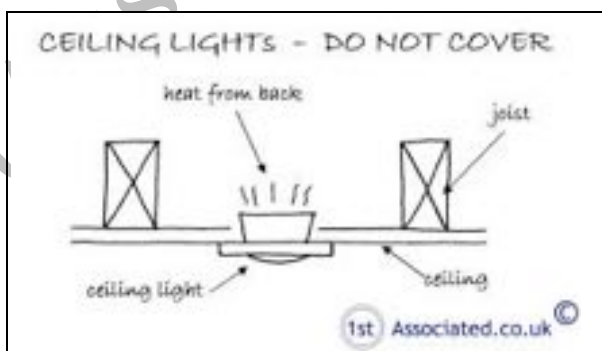


Dated electrics

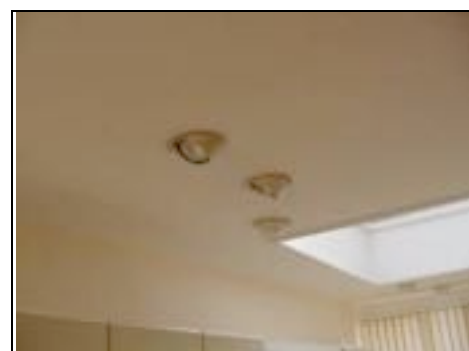
ANTICIPATED COST: £250 - £500 plus any work recommended and any work you require which we would anticipate to be in the £1,000 - £3,000 region; please obtain quotations.

20.2) Old style ceiling lights

The property has 1970's electric lights to the ceiling. In some instances these can cause problems as the heat given off has in some cases lead to outbreaks of fire; these tend to be in the older type of ceiling lights and we recommend that where ceiling lights are used that the rear of the light is not covered; this is particularly the case in rooms with a loft space above it where stored items are placed in it.



Ceiling lights



1970's lighting

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ACTION REQUIRED: We recommend replacing older style ceiling lights.

ANTICIPATED COST: A few hundred pounds depending upon the quality and type of light and any repairs needed; please obtain quotations.

Please see the Services Section of this Report.

The Ugly

We normally put here things that we feel will be difficult to resolve and will need serious consideration.

We have found more than the average number of things that we would classify as bad which would put many people off.

We would specifically draw your attention specifically to:

- 1) Alterations and amendments that have been carried out which are not appropriate to an old listed building, some of which are fine-able and you will have a liability for the work that has been carried out if not to the appropriate standard and appropriate materials.
- 2) Flooding – we believe you need to consider this a characteristic of the area.
- 3) Movement in the property – again we believe this is a characteristic of the property, excessive movement can be reduced if our recommendations are followed within the report. There will of course be other things that you find as you carry out the work.
- 4) Dampness – we have recommended a way of managing the dampness better by reducing the level of the ground and also by adding French drains and a soakaway which we believe will improve it considerably.
- 5) Contingency sum – It is usual to have a contingency sum of ten to thirty percent on building work on older properties. We would recommend that this is at the upper end of this percentage in this particular case.

The report does need to be read in full as many things have implications with other things.

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Other Items

Moving on to more general information.

Maintenance

It should be appreciated that defects which would normally be highlighted in a modern property, effectively form part of an older property's overall character and style. Such defects are considered acceptable and may not have been specifically referred to as defects within the context of this Report.

This type of property will require ongoing maintenance and repair and a budget for such work must be allowed to ensure it is maintained in good condition. This will prevent undue and unnecessary deterioration.

Services

Whilst we have carried out a visual inspection of the services within the property we also need to advise you of the following:

Electrics

There are two electric meters; one to the front right of the property and the other to the rear left in the kitchen. The Institution of Engineering and Technology (IET) recommend a test and report whenever a property changes occupancy. This should be carried out by an NICEIC registered and approved electrical contractor or equivalent.

Heating

We found a floor mounted boiler in the rear right room. We would recommend that the system be tested and overhauled before exchange of contracts and that a regular maintenance contract be placed with an approved heating engineer.

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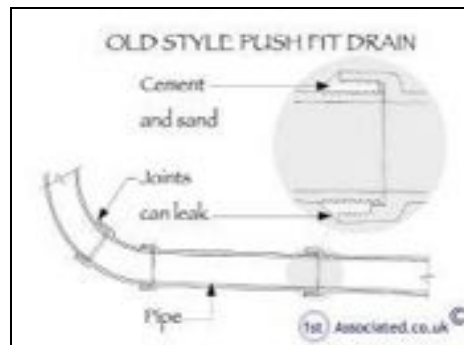
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Drainage

In older properties, such as this, drainage was often push fitted together rather than bonded together which means that they may leak over the years.

ACTION REQUIRED: Whilst we ran the tap for 15 minutes without any build up or blockages the only way to be 100% certain of the condition of the drains is to have a closed circuit TV camera report.



Push fit drain

Water Supply

There is danger in older properties of having a lead water supply; we would recommend that you speak to the water company to ask them if they have carried out such replacement, as you will be re-piping much of the water used in the building it gives an ideal opportunity to also check for any remaining lead pipes.

ACTION REQUIRED: We would reiterate that we recommend with regard to all services that you have an independent check by a specialist contractor.

DIY/Handyman Type Work

There is much work required to the property over and above what a typical DIYer can do. You advised us that you are a builder with experience in extensions and alterations.

Getting to know more about older properties - SPAB course

We would recommend that you go on a Society for Protection of Ancient Buildings (SPAB) weekend course on looking after and maintaining older properties. Even if you do not intend to carry out the work yourself it does give you a far better idea of what work should be carried out. The website for this is www.SPAB.org.

Purchase Price

We have not been asked to comment upon the purchase price in this instance, we have however referred you to sources of general information on the housing market within the Information on the Property Market Section, which can be found in the Appendices at the end of the Report.

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Every Business Transaction has a Risk

Every business transaction has a risk, only you can assess whether that risk is acceptable to you and your circumstances. You should now read the main body of the Report paying particular attention to any “**ACTION REQUIRED**” points.

Estimates of Building Costs

Where we have offered an estimate of building costs please remember we are not experts in this area. We always recommend you obtain quotations for the large jobs before purchasing the property (preferably three quotes). The cost of building work has many variables such as the cost of labour and estimates can of course vary from area to area when giving a general indication of costs. For unskilled labour we currently use between £75 and £125 per day (the higher costs in the city areas) and for tradesmen we use between £100 and £200 per day for an accredited, qualified, skilled tradesman. Other variations include the quality of materials used and how the work is carried out, for example off ladders or from scaffold.

If you obtain builders estimates that vary widely, we would advise the work is probably difficult or open to various interpretations and we would recommend a specification is prepared. It would usually be best to have work supervised if it is complex, both of which we can do if so required.

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SUMMARY UPON REFLECTION



The Summary Upon Reflection is a second summary so to speak, which is carried out when we are writing the second or third draft a few days after the initial survey when we have had time to reflect upon our thoughts on the property. We would add the following in this instance:

We would reiterate our earlier comments with regards to problems in the property and advise that it would put many people off:

- 1) Alterations and amendments that have been carried out which are not appropriate to an old listed building, some of which are fine-able and you will have a liability for the work that has been carried out if not to the appropriate standard and appropriate materials.
- 2) Flooding – we believe you need to consider this a characteristic of the area.
- 3) Movement in the property – again we believe this is a characteristic of the property, excessive movement can be reduced if our recommendations are followed within the report. There will of course be other things that you find as you carry out the work.
- 4) Dampness – we have recommended a way of managing the dampness better by reducing the level of the ground and also by adding French drains and a soakaway which we believe will improve it considerably.
- 5) Contingency sum – It is usual to have a contingency sum of ten to thirty percent on building work on older properties. We would recommend that this is at the upper end of this percentage in this particular case.

In addition to the above are the problems highlighted by the mortgage company for which we have carried out a separate report dealing specifically with the problems they have identified.

We would refer you to our comments in the Executive Summary, 'Good', 'Bad' and 'Ugly' Section and ask that you re-read these.

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As a general comment for any work required we would always recommend that you obtain at least three quotations for any work from a qualified, time served tradesperson or a competent registered building contractor prior to legal completion.

Supervision of work

Your mortgage company does advise having the work supervised, if you wish we can provide specifications and obtain quotations for the work. As you are a builder we assume you will be able to do this to some extent and will need our guidance from time to time and possibly an inspection on any problem areas. We would recommend that you do have professional supervision.

Whatever you do don't allow the estate agent to organise the quotes as he will often utilise people he regularly uses who know they have to keep in with him/her to get further work and therefore are very keen to please the estate agent, as opposed to you the real client and at the end of the day it doesn't take long to organise.

We would ask that you read the Report in full and contact us on any issues that you require further clarification on.

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MORE ABOUT THE REPORT FORMAT

Just a few more comments about the Report format before you read the actual main body of the Report.

TENURE – FREEHOLD (OR AS GOOD AS)

We have assumed that the property is to be sold Freehold or Long leasehold, with no unusual or onerous clauses and that vacant possession will be available on completion. Your Legal Advisor should confirm that this is the case.

ESTATE AGENTS – FRIEND OR FOE?

It is important to remember that the estate agents are acting for the seller (usually known as the vendor) and not the purchaser and are therefore eager to sell the property (no sale – no fee!). We are employed as Independent Chartered Surveyors and offer an independent point of view.

SOLICITOR/LEGAL ADVISOR

To carry out your legal work you can use a solicitor or a legal advisor. We have used both terms within the report.

TERMS OF ENGAGEMENT/LIMITATIONS

This report is being carried out under our terms of engagement for Building Surveys, as agreed to and signed by yourselves. If you have not seen or are not happy with the terms of engagement please phone immediately 0800 298 5424 or email the secretary from which this survey came from.

OUR AIM IS ONE HUNDRED PERCENT SATISFACTION

Our aim is for you to be completely happy with the service we provide, and we will try and help you in whatever way possible with your property purchase - just phone us.

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THE DETAILED PART OF THE REPORT FOLLOWS, WORKING FROM THE TOP OF THE PROPERTY DOWNWARDS

From our investigations the property is Grade II Listed and/or falls within a Conservation Area (your Legal Advisor should confirm this and make their own enquiries) and as such it will require various permissions to be obtained before work is carried out, over and above that normally required and possibly the use of appropriate materials for the age, type and style of property.



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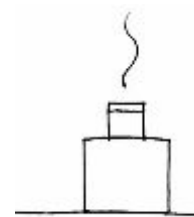
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EXTERNAL

CHIMNEY STACKS, FLUES PARAPET WALLS AND ROOF WINDOWS



Chimney Stacks

Chimneys developed originally from open fires placed within buildings. From this, the chimney has developed to its present day format where it is used as an aesthetic feature and focal point rather than purely just to heat the room.

There are five chimneys to this property they are located to the front right, front left, far left, rear middle and rear right (all directions given as you face the property).

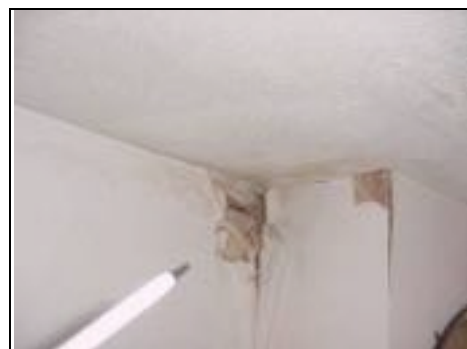
Chimney One – located to Front Right

This chimney is brick finished with a lead flashing and two chimney pots. From what we could see from ground level it looked in below average condition considering its age, type and style.

We noted an aerial attached to the chimney which we are not keen on as it cuts into the brickwork rather like a cheese wire cutting into cheese.



Right Chimney



Leak from chimney one in top floor right room

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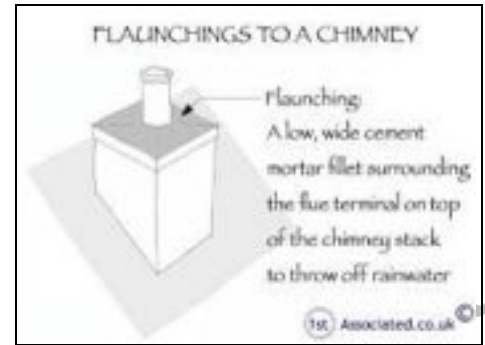
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Unfortunately we were unable to see the top of the chimney properly known as the flaunching, we therefore cannot comment upon them.

ACTION REQUIRED: Please see our comments in the Executive Summary.



Flaunching

Chimney Two – located to Front Left

This chimney is brick finished with a lead flashing and two chimney pots. From what we could see from ground level it looked in below average condition considering its age, type and style.



Chimney Two



Front Left Chimney



Chimney Two leaking
top floor left bedroom

ACTION REQUIRED: Please see our comments in the Executive Summary.

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Chimney Three – located Far Left

This chimney is brick finished with a lead flashing and four chimney pots. From what we could see from ground level it looked in below average condition considering its age, type and style.

ACTION REQUIRED: Please see our comments in the Executive Summary.



Chimney Three



Far Left Chimney

Chimney Four – Rear Middle

This chimney is brick finished with a lead flashing and three chimney pots. From what we could see from ground level it looked in poor condition considering its age, type and style.



Rear Middle Chimney



Chimney Four



Cement repointing

ACTION REQUIRED: Please see our comments in the Executive Summary.

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Chimney Five – located to the Rear Right

This chimney is brick finished with a lead flashing and two flues. From what we could see from ground level it looked in below average condition considering its age, type and style. This is also part retaining wall.

ACTION REQUIRED: Please see our comments in the Executive Summary.



Rear Right Chimney

As a general comment all the brickwork has been wrongly repointed in a cement mortar and all the brickwork is suffering from spalling and general lack of care and attention. Some of the bricks have suffered from brick repairs.

Flashings Defined

Flashings prevent dampness from entering the property, usually at junctions where materials change. Such a junction is the one between the chimney and the roof.

Flaunchings Defined

A low, wide cement mortar fillet surrounding the flue terminal on top of the chimneystack to throw off rainwater.

Spalling Defined

Spalling occurs to brick or stone when water penetrates the surface and via freezing and thawing starts to cause deterioration to the surface. This in turn allows further water penetration and the surface breaks up further. This ultimately can lead to water damage or structural damage to the area.

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Flues

Flues offer ventilation to things like boilers and soil and vent pipes and usually come through the roof covering, which can often also be a weak area.

The property has metal flues visible to the rear right chimney. Please see chimney five and our comments within the Executive Summary.

There are also vents to the top floor which we talk about elsewhere within this report.



Flue

Parapet Walls

Parapet walls are usually walls that are above roof level and often sit on the boundary of the property.

In this case there is a parapet wall to the right built in a stretcher bond brickwork with a coping stone which looks relatively new. You need to check and confirm whether listed building consent has been obtained for this parapet wall.



Parapet wall



Efflorescence below parapet wall
indicating it is allowing
dampness in



Parapet wall

We have made our best assumptions based upon what we could see. A closer inspection may reveal more.

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Roof Windows

(Also known as roof lights or

Velux windows which is the trade or generic name)

The property has two roof windows to the rear flat roof. These are an older style purpose made roof window probably from the early 1960's to 1980's which looked in below average condition. We could see the flashing around them and we could see in this instance they have been repaired. We believe this sort of domed roof window is the better type as it does not allow water to sit on it however it is probably coming to the end of its useful life.



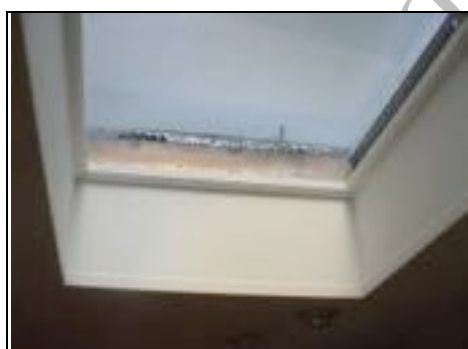
Roof windows to rear flat roof



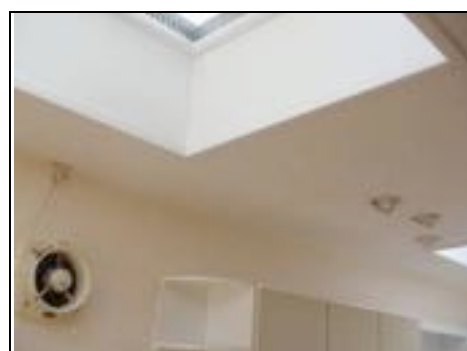
Roof windows to rear flat roof



Roof window repaired



Deterioration to roof windows



Roof windows in kitchen

It seems inevitable with roof windows that they will sooner or later leak. If this doesn't occur then they seem prone to condensation. Keep a cloth handy!

ACTION REQUIRED: Carry out a dye water test around the roof windows to check they are watertight.

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Finally, we have made our best assumptions on the overall condition of the chimney stacks, flues, parapet walls and roof windows from the parts we could see above roof level. The inspection was made from ground level within the boundaries of the property (unless otherwise stated) using a x16 zoom lens on a digital camera and/or aerial photographs. A closer inspection may reveal latent defects.

Please also see Chimney Breasts, Flues and Fireplaces Section of this Report.

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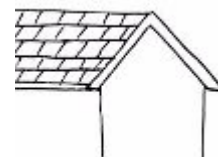
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ROOF COVERINGS AND UNDERLAYERS



The Roof Coverings and Underlayers section considers the condition of the outer covering of the roof. Such coverings usually endure the extremes of climate and temperatures. They are susceptible to deterioration, which ultimately leads to water penetration.

Dependent upon the age of your property and the type of construction a protective underlayer may or may not be present, please read on:

We will consider the roofs in seven areas:

- 1) Main roof
- 2) Garage Slate and Tile Roof
- 3) Rear flat roof
- 4) Front Left and Right Lead Bay Window Roofs
- 5) Circular Bay Roof on right side
- 6) Glazed entrance area to right
- 7) Glazed entrance area to front



Slate roof, tiled roof and flat roof to rear

Main Roof

The main roof is pitched and clad with roman style concrete tiles. This is typical of what was carried out with re-roofing of the 1970's, but it took place between 1960's to 1990'sm before the Building Regulations stopped inappropriate change of roof coverings.



Main roof

From ground level, this looks in average condition considering the roofs age type and style however from closer inspection we can see there are problems to the left side of the roof.

A heavier concrete tile has replaced the original roof covering and therefore there should be additional roof support which there does not look to have been and as such the roof has probably put pressure onto the walls which in turn relates back to the movement that we talked about. On closer inspection the left roof seems to have been poorly re-roofed; please see our comments in the Executive Summary.

ACTION REQUIRED: Please see our comments in the Executive Summary.

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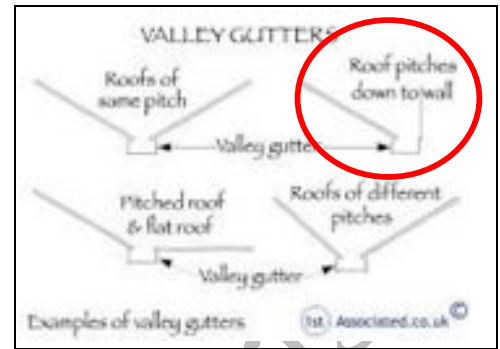
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Valley Gutters

This property has a few valley gutters. Valley gutters are formed where two roofs meet or a roof and a wall meet, they are generally problematic.



Valley gutter to rear of pantile roof



Valley gutter repaired that was allowing dampness into garage



Valley gutter problems, part repaired in lead but needs double checking this is watertight

ACTION REQUIRED: Please see our comments in the Executive Summary.



Gully not cleared

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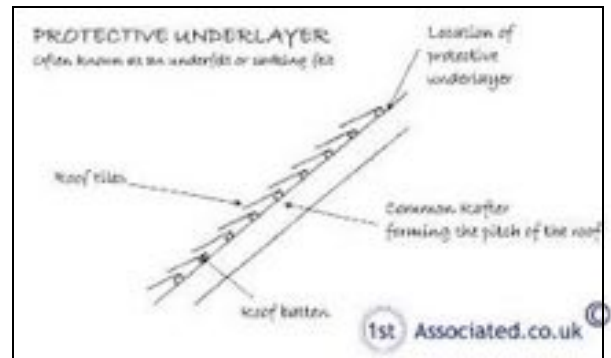
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Protective Underlayer (Often known as the sarking felt or underfelt)

From the 1940s onwards felts were used underneath tiles/slates to stop wind damage and water penetration, these in more recent years have been replaced with plastic equivalents. These are commonly known as underfelts but now the name is not really appropriate, as felt is not the only material used.



Protective underlayer

When we inspected the loft space we found a Hessian base Bitumen membrane. This type of membrane has been used since the 1960s. We generally found it to be in average condition, with damage in some areas which is what we typically find.



We also found a breathable protective underlayer indicating that modern alterations have taken place. This type of material has generally been used since around 2002.

Breathable protective underlayer indicating modern alterations as well as hessian felt

Garage Slate and Tile Roof

The garage roof is slate one side and tiled to the other. The slate roof has seen better days and we can see areas where tingles have been added. There are leaks visible internally to the gutter area and the whole of the garage is generally in a poor condition, depending on what you intend to keep in this area will dictate the quality of repair work.



Aerial photo of garage roof



Garage slate roof
Aerial view – 360 photo



Garage tiled roof
Aerial view – 360 photo

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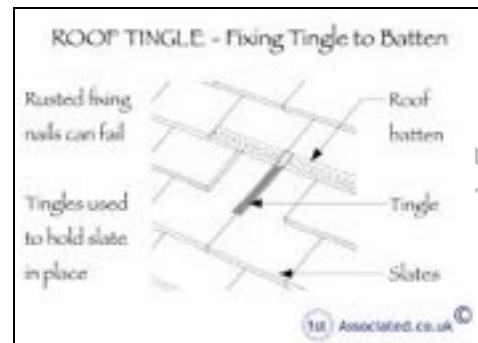
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Tingles to slates on garage roof



Tingles

The verge also needs repair work as this will be letting in rain. We believe the main focus should be on the house. We spoke to the antiques/bric a brac store next door and they advised that they have no particular problems coming from this property and it is the garage that directly abuts them. The main problem to the garage area seems to be the valley gutter; please see our earlier comments.



Garage slate roof



Garage tiled roof

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Flat Roofs

Whilst these roofs are called "flat", present building regulations and good building practice presently requires a minimum fall of 12 degrees.

Flat roofs are formed in a variety of materials. Difficulties can arise when the water is not discharged from the roof but sits upon it, as this can soon lead to deterioration which flat roofs are renowned for.

Rear flat roof

This is a flat flat roof clad in felt which looked in average condition for its age, we believe it is from the 1960s's/1970's. The main problem is it is a flat flat roof.



Flat roofs to rear



Flat roof

ACTION REQUIRED: Please see our comments in the Executive Summary.

Front Left and Right Lead Bay Window Roofs

These are a flat roof clad in lead which looked in average condition.

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Front left lead bay window roof



Right bay window

ACTION REQUIRED: Please see our comments in the Executive Summary.

Circular bay/bow roof on right side

This is a flat roof clad in older style felt which looked in average condition. This may have originally been lead; further investigation needs to be carried out. We do believe it is nice to have lead flat roofs where historically correct. Again you will need guidance from the Listed Building/Conservation Officer.



Roof to circular bay on right side

Further information on flat roofs

Ventilation

Building Regulations recommend flat roofs are ventilated although as this building is listed you may get exemptions. Building Regulations are not retrospective but the reason for the requirement is to make sure that any moisture that enters the roof construction is dispelled by way of ventilation. We would suggest that if the opportunity arises ventilation should be provided to the rear flat roof.

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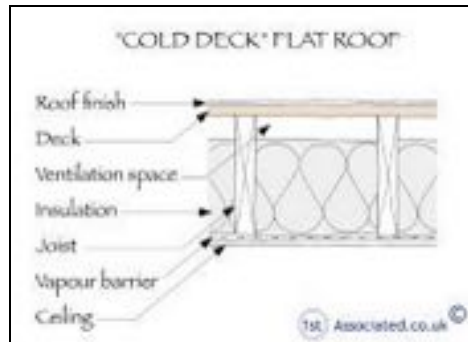
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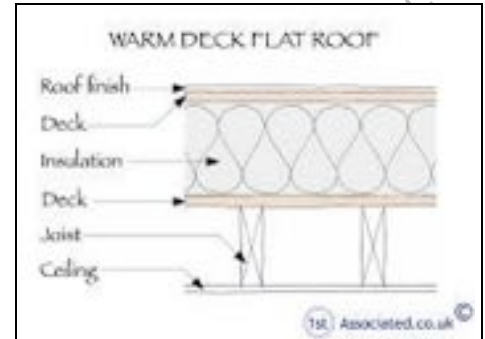


Insulation

Also it could not be established if there is insulation within the roof or a vapour barrier, without the vapour barrier and combined with inadequate ventilation there will be an increase in the risk of wet or dry rot.



Cold roof



Warm roof

Glazed entrance area to right

We were pleased to see this roof had a lead flashing where it meets the main building. Your legal advisor needs to check and confirm this has planning permission along with the new looking parapet wall that we have previously mentioned. There are guards to stop any roof tiles that come off hitting the conservatory below.



Guard to stop roof tiles hitting conservatory below



Glazed entrance area

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Glazed entrance area to front

There is a glazed entrance to the front which looked in average condition.



Front glazed entrance

All the roofs were inspected from ground level with the aid of a x16 zoom lens on a digital camera and/or aerial photographs. Flat roofs have been inspected from the roof themselves and we have also used high level photograph.

Finally, we were only able to see fully / properly approximately eighty percent of the main roof to our satisfaction from ground level via our ladder or via any other vantage point that we managed to gain. We have made our best conclusions based upon what we could see, however a closer inspection may reveal other defects.

For further comments with regard to ventilation please see the Roof Structure and Loft Section.

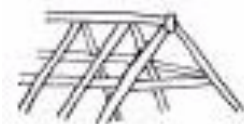
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ROOF STRUCTURE AND LOFT

(ALSO KNOWN AS ROOF SPACE OR ATTIC SPACE)

The roof structure or framework must be built in a manner which is able to give adequate strength to carry its own weight together with that of the roof covering discussed in the previous section and any superimposed loads such as snow, wind, foot traffic etc.

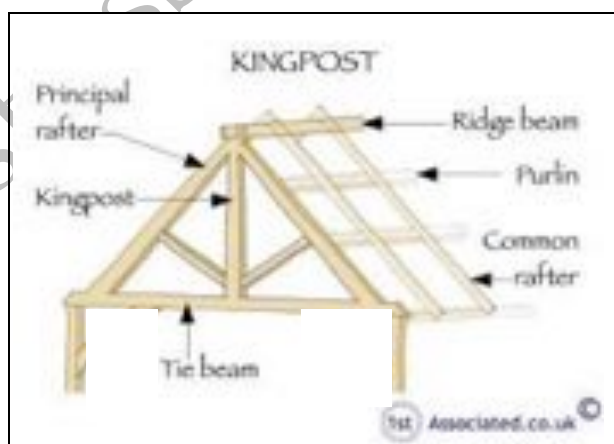
Main Roof

Roof Access

The property has several loft accesses. To the right side there are loft accesses via access doors situated on the top floor to the right side roof and the left side roof. There is also an access hatch at the top of the stairs to the left side of the building on the landing. There is another access hatch within the W.C. on the left side of the building on the first floor. All of the different accesses give us a view of the large main roof.

Roof Structure

This type of roof structure has what is known as a kingpost roof. Without the original design details we cannot categorically confirm that there are no defects; however it is in line with what we typically see. We can see more dampness to this roof than we normally see and some of the timbers are thinner than we would expect particularly bearing in mind there is not a heavier concrete tile roof on the property. We are also concerned with regard to the insulation in the roof as we believe it may be over-insulating the roof and causing condensation.



Kingpost



King post roof to left

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Roof Timbers – Rear Right Roof

We have inspected the roof structure for:

1. Serious active woodworm
2. Structurally significant defects
3. Structurally significant dry rot
4. Structurally significant wet rot

Our examination was limited by the general configuration of the roof and the insulation. What we could see was generally found to be in below average condition for its age, type and style. It is, however, feasible that there are problems in the roof that are hidden.

ACTION REQUIRED: We recommend the roof is vented. We would recommend the roof is fully lit and boarded and then we would be happy to view the roof. The only way to be 100 per cent certain is to have the roof cleared and checked.



Dampness



Woodworm



Mono-pitch roof

Purlins

There looks to have been work with adding of purlins and repairs to purlins. We can see metal braces and ties and also supporting timbers to the purlins. Purlins are generally added to give extra support to the common rafters.



Strengthening 'braces' on purlins

Purlins Defined

Purlins are the horizontal cross members that give support to the common rafters.

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Fire Walls

If this is to be classed as two separate buildings then most mortgage companies require a fire wall to divide the properties up, i.e. in this particular case it would be the left and right building or number X and number Xa.

Fire Walls Defined

Fire walls help prevent the spread of fire through roofs and are a relatively recent Building Regulation requirement.

Water Tanks

The water tanks are plastic and insulated.

We would always recommend that water tanks be drained down and cleared of any debris etc. (we have seen dead birds and other unmentionable things in these tanks). As you are often cleaning your teeth with this water it is best that it is as clean as possible!



Water tank

Ventilation

We would recommend ventilation is added.

Insulation

Please see the Thermal Efficiency Section of this Report.

Electrical Cables

We can often identify the age of an electrical installation by the age of wiring found in the roof. In this case we could not see it due to the mass of insulation.

Please see our further comments in the Services Section of this Report.

Finally, we would ask you to note that this is a general inspection of the roof, i.e. we have not examined every single piece of timber. We have offered a general overview of the condition and structural integrity of the area.

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GUTTERS AND DOWNPIPES



The function of the gutters and downpipes is to carry rainwater from the roof to the ground keeping the main structure as dry as possible.

Defective gutters and downpipes are a common cause of dampness that can, in turn, lead to the development of rot in timbers. Regular inspection and adequate maintenance are therefore essential if serious problems are to be avoided.

Gutters and Downpipes

We noted that the property has a mixture of cast iron gutters and downpipes and modern replacement plastic gutters and downpipes. Where these two materials are mixed there are often problems where they join and also in the falls to the outlets.



Plants growing out of guttering

ACTION REQUIRED: Please see our comments in the Executive Summary. A good start would be removing all the vegetation and clearing the gutters.

We would recommend you stand outside the property next time it rains heavily and see how well the drains cope with the rainwater particularly looking at the guttering and the joints.



Asbestos guttering to rear

We also recommend that the gutters and downpipes are cleaned out, the joints are checked and the alignment checked to ensure that the gutters fall towards the downpipes.



Vegetation growing out of gutters and general lack of maintenance

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ASBESTOS WARNING

Some of the guttering is asbestos and you need to take full precautions with regard to any asbestos work.

Our insurance company requires us to advise we are not asbestos surveyors and advises us to recommend asbestos surveyors are instructed and that you have your own asbestos survey carried out.

ACTION REQUIRED: If you wish to confirm you are 100 percent free of asbestos you need to have an asbestos survey carried out.

Soil and Vent Pipe

The property has a soil and vent pipe to the rear of the property and we believe a disused soil and vent pipe to the rear right corner. There are a mass of pipes to the rear of the property which is usual in any old property where there has been alterations and additions over the years. Originally of course it would not have had bathrooms and w.c.'s inside.



Believed to be disused soil and vent pipe to rear right corner



Soil and vent pipe to rear of property

Finally, gutters and downpipes and soil and vent pipes have been inspected from ground level. As it was not raining at the time of the inspection it is not possible to confirm 100 per cent that the rainwater installation is free from blockage, leakage etc. or that it is capable of coping with long periods of heavy rainfall. Our comments have therefore been based on our best assumptions.

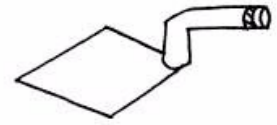
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WALLS



External walls need to perform a variety of functions. These include supporting upper floors and the roof structure, resisting dampness, providing adequate thermal and sound insulation, offering resistance to fire and being aesthetically presentable.

The walls are constructed of predominantly brickwork with some render and stonework.

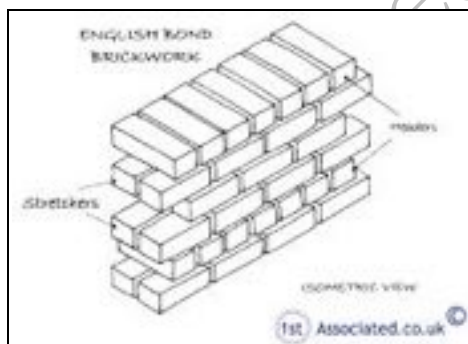
Brickwork

There are a mixture of different brickwork type bonds, these include:

English bond brickwork

The property is built in a brick originally in a lime mortar in what is known as English bond.

The term "English Bond" means that from the outside of the property, you can see a row of the ends of the bricks (known as "headers"), followed by a course above of the side of bricks (known as the "stretchers"), followed by a further course of the ends of the bricks. This pattern would repeat throughout.



English bond



English wall bond

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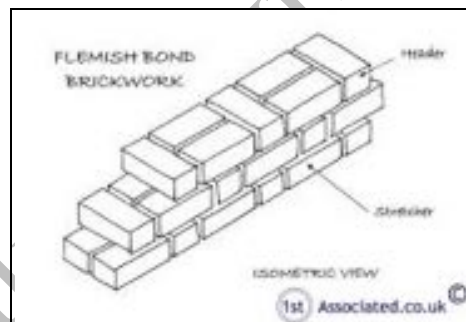
Flemish bond brickwork

Parts of the property are built in a brick originally in a lime mortar in what is known as Flemish bond brickwork.

The term Flemish Bond relates to the way the bricks are bonded together and have a pattern visible from the outside of the property that shows the end of the brick (header), then the side of the brick (stretcher), then the end of the brick, then the side of the brick, and this pattern repeats course after course, i.e. header-stretcher, header-stretcher.



Cement repairs to base of semi-circular window



Flemish bond brickwork

Timber lintels and bonding timbers

Before the 19th Century, the practice of building timbers into external walls was almost universal. These were known as bonding timbers. They are of course prone to rot as solid walls allow dampness through. Unfortunately, without opening up the structure, we are unable to confirm if this is the case.

We can visibly see one timber to the right side of the property, there may be more within the property.



Bonding timber to right side of property

Condition

Generally Flemish Bond brickwork is liable to penetrating dampness internally, dependent upon the condition of the brickwork and the exposure to the weather. It is essential that external faces be kept in good condition.

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Stretcher Bond Brickwork

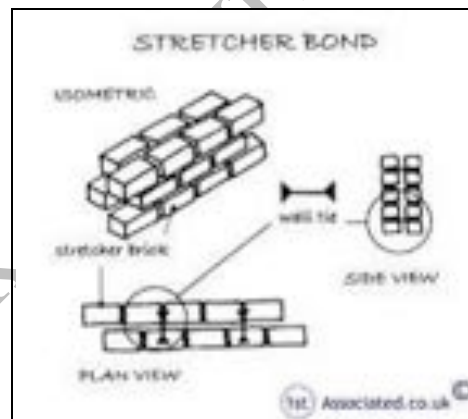
There are more modern areas of Stretcher bond brickwork. This was generally used after the War Years and is generally in a cement based mortar. We can see it has been used to the rear garage area and also to the parapet walls.

The term "Stretcher Bond" means that from the outside of the property, you can see a row of the sides of the bricks (known as "stretchers") followed by a course above of the same stretch of bricks set off so the joint is centrally above the "stretcher". This pattern would repeat throughout.

ACTION REQUIRED: Your legal Advisor needs to check and confirm all of these additional areas have permission.



Stretcher bond brickwork



Stretcher Bond brickwork

Cavity Walls

Cavity walls were first used in Victorian times. It originates from solid walls not always being waterproof against driving rain and not providing a good degree of thermal insulation. The design of cavity walls makes them relatively unstable and they depend upon the wall ties.

Wall Ties

Walls of cavity construction should incorporate ties to hold together the inner and outer leaves of masonry. We would typically see horizontal cracking where there are problems. In this case we have not noted any cracking however wall tie failure is a progressive problem. We would add as there is no access to the cavity it has not been inspected and we cannot comment on the presence or condition of wall ties. As such we cannot be hundred per cent certain with regard to this problem unless we open up the structure. From what we can see externally it appears not to have any problems. We usually look for horizontal lines where there is older style stretcher bond brickwork, such as this, to see if the wall ties are rusting and forcing open the brickwork. In this instance we could not see horizontal lines.

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Repointing and Repairs



Repointing in cement



Cement repairs

ACTION REQUIRED: Please see our comments in the Executive Summary.

Cracking

ACTION REQUIRED: Please see our comments in the Executive Summary.

Render

Some of the external walls are finished in a stucco render imitating ashlar stonework (cut stone).

We are always wary when we see rendered properties as it usually means they have been rendered for a particular reason such as hiding problematic areas, perhaps damaged and deteriorating brickwork or perhaps movement as we can see movement to the rear right conservatory entrance area.



Render to rear left corner



Stucco effect to render on rear right corner

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Timber

We can an area where there is a timber beam. This may indicate there are other timbers within the property.

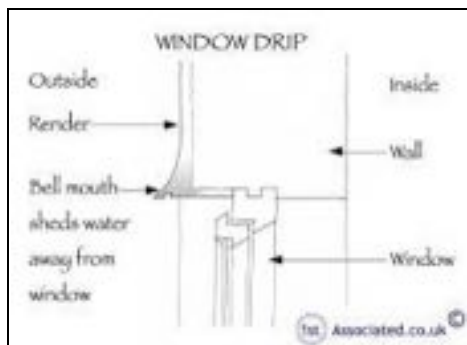
ACTION REQUIRED: We would suggest that opening up is carried out in this area and also to parts of the render to see what is beneath it.



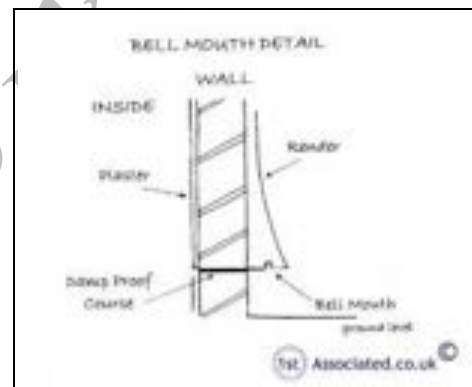
Timber

Render Detailing

We are normally happier with render having drip details however normally with stucco render that is imitating ashlar stone we would not see such drip detailing.



Window drip



Bell mouth detail

Stonework

There is stonework beneath the windows. We can see that this detail has been repeated on the modern entrance area, we believe this to be a reconstituted stone.



Stonework under bay windows



Deterioration to stonework under bay window



Constituted stone to new porch entrance to front middle

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ACTION REQUIRED: Ask the existing owners about details with regard to the front entrance porch.

Ivy on buildings

There is ivy growing on the building which can cause damage, we would always prefer that a trellis is used to separate it from the building.



Ivy

Lintels

It is likely that most of the windows will have timber lintels as this is how they were traditionally built unless there has been replacements. Ideally we would like to see all lintels to all windows and door openings however our main priority would be to see the ones to the larger openings such as the bay window to the front.



Timber lintel in coal bunker which indicates there may be other timber lintels

ACTION REQUIRED: Your legal Advisor to specifically ask the owner have they carried out any lintel repairs or replacements.

Finally, the external walls have been inspected visually from ground level and/or randomly via a ladder. Where the window and door lintels are concealed by brickwork / render / stonework / plasterwork we cannot comment on their construction or condition. In buildings of this age timber lintels, concrete lintels, rubbed brick lintels, stone lintels or metal lintels are common, which can be susceptible to deterioration that is unseen, particularly if in contact with dampness.

Our comments have been based upon how the brickwork / render / stonework / plasterwork has been finished. We have made various assumptions based upon what we could see and how we think the brickwork / render / stonework / plasterwork would be if it were opened up for this age, style and type of construction. We are however aware that all is not always as it seems in the building industry and often short cuts are taken. Without opening up the structure we have no way of establishing this.

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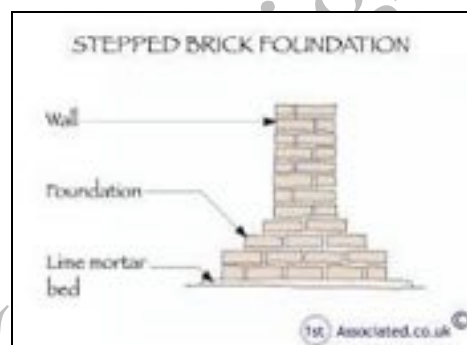


FOUNDATIONS

The foundations function is, if suitably designed and constructed, to transfer the weight of the property through the soil. As a general comment, many properties prior to the 19th Century have little or no foundations, as we think of them today, and typically a two-storey property would have one metre deep foundations.

Foundations

Given the age of the property you may find different depths of foundations. We would expect to find no foundations to stepped brick foundations, possibly a concrete foundation for the more recent work.



Stepped brick foundation

Bay Windows

Bay windows in this era of property typically do not have foundations underneath them and have been subject to movement. We are aware that some insurance companies underpin bay windows with a modern foundation. We think this is often excessive and unnecessary and would be happy to comment further on this if you ever find yourself in this situation.



Bay window

Building Insurance Policy

The high water table could affect the stability of the ground.

You should ensure that the Building Insurance Policy contains adequate provision against any possibility of damage arising through subsidence, landslip, heave etc.

It is your responsibility to check out prior to commitment to purchase that insurance is available on the property on the basis of the things we have reported in the survey. Much as we would like to we are unable to keep up with the changing insurance market and give you advice with regard to this.

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Cracks

Please remember to talk about any cracks identified within the property. Often insurers will refer to progressive and non-progressive cracking. Unfortunately this is something we are unable to comment upon from a one-off inspection; the Building Research Establishment recommend a year of monitoring of any cracking.

We would refer you to our comments with regard to building insurance throughout this report.

Finally, we have not excavated the foundations but we have drawn conclusions from our inspection and our general knowledge of this type, age and style of property.

We would always recommend that you remain with the existing insurance company of the property.

As no excavation has been carried out we cannot be 100 percent certain as to how the foundation has been constructed and we can only offer our best assumptions and an educated guess, which we have duly done.

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TREES



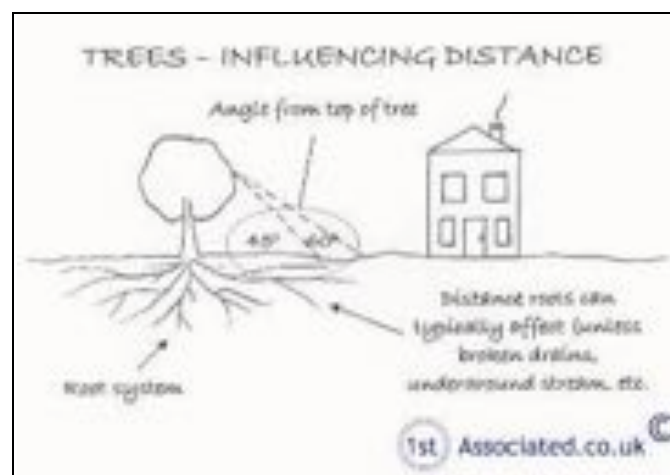
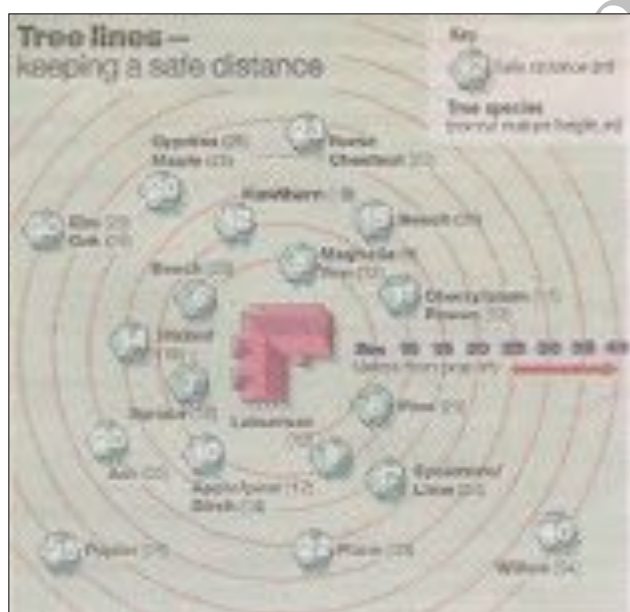
Trees within influencing distance of a property can affect the foundations by affecting the moisture content of the soil.

There are trees within what we would term as influencing distance but you do need to speak to your insurance company as they may have a different interpretation for insurance reasons. It is likely the trees have tree preservation orders on them so it is limited what you can do.

ACTION REQUIRED: We would recommend an arboriculturalist (not a tree surgeon) is asked to view the property and give a ten year plan for maintenance. It should also be remembered that the trees are close in some instances to the garden wall that is also separately listed.



The tree is located in front garden



Influencing distance of trees to a property

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Influencing Distance Defined

This is the distance in which a tree may be able to cause damage to the subject property. It is not quite as simple as our sketch; it depends on the tree, its maturity, the soil type etc., etc.

Finally, insurance requirements with regard to trees have varied over the years and in our opinion have got ever more onerous. We have seen the notifiable distance of a tree away from a property to have been reduced over the years and we reiterate our comments elsewhere within this report that you need to make enquiries with regard to the insurability of your property in relation to trees and other features when you purchase the property.

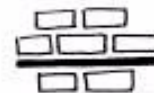
Please also refer to the External Areas Section.

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DAMP PROOF COURSE

The Building Act of 1878 required a damp proof course to be added to all newly built properties within the London area. It also required various other basic standards. These requirements were gradually taken up (or should that be grudgingly taken up) throughout London and then the country as a whole, although this took many years for it to become standard practice.

In properties of this age it is unlikely that a damp proof course would have been built in originally however, often they have had damp proof courses added at a later date. In this case we were surprised to see a damp proof course on the left side, although only visible in some areas so it has probably been inserted at a much later date. It is considerable work to insert a plastic damp proof course like this so more needs to be known about it.



Damp proof course

ACTION REQUIRED: Your legal Advisor to ask in writing if the existing owner added the damp proof course and if so whether they had permission to add the damp proof course.

Your attention is drawn to the section of the report specifically dealing with dampness.

Finally, sometimes it is difficult for us to identify if there is a damp proof course in a property. We have made our best assumptions based upon our general knowledge of the age, type and style of this property.

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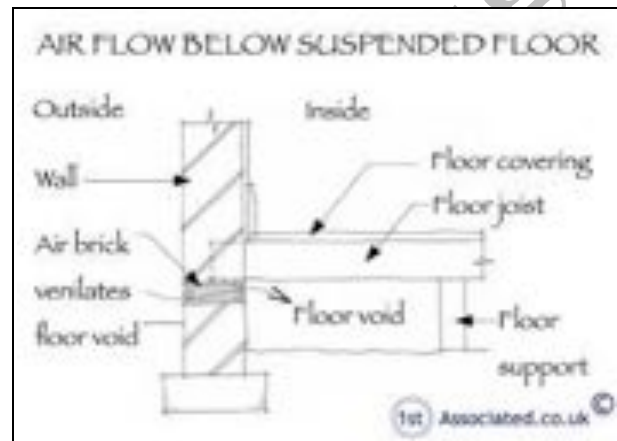
AIRBRICKS



In properties with suspended floors you need to have an airflow beneath to stop deterioration. The air is allowed to pass under the property by the use of airbricks. Generally the rule of thumb is that airbricks are spaced every metre and a half approximately, but this depends upon the specific circumstances of the property.

Low Level Air Bricks

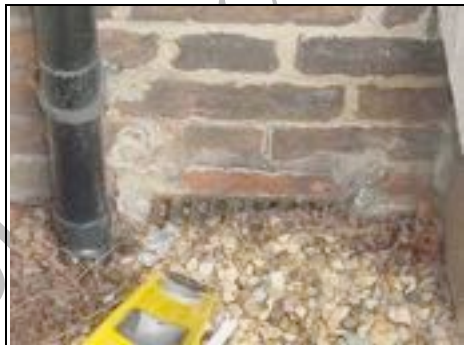
Air bricks are essential to have a through flow of air as this helps to reduce the chances of wet rot, dry rot and woodworm. In this case there are airbricks to the right hand side.



Suspended timber floor



Airbrick to front left bay



Air brick to front right



Airbrick to circular bay on right side

ACTION REQUIRED: Please see our comments in the Executive Summary.

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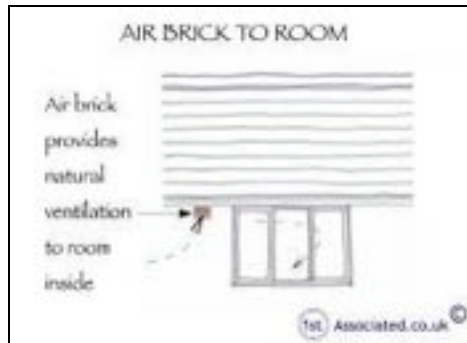
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High Level Air Bricks

High level air bricks are normally for air circulation but in this case these air bricks look to be into the top floor. They could have been added to help vent the floor and reduce wet rot, dry rot and woodworm.



High level airbrick



High level airbricks

ACTION REQUIRED: Again we would recommend your legal advisor ask in writing as to why these have been inserted on the right hand elevation as it is relatively unusual.

Finally, we have made our best assumptions based upon our visual inspection of the outside of the property and our general knowledge of this age, type and style of construction. We have not opened up the floor, unless we have specifically stated so in this section.

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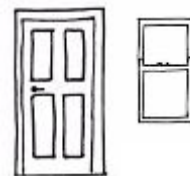
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FASCIAS AND SOFFITS AND WINDOWS AND DOORS

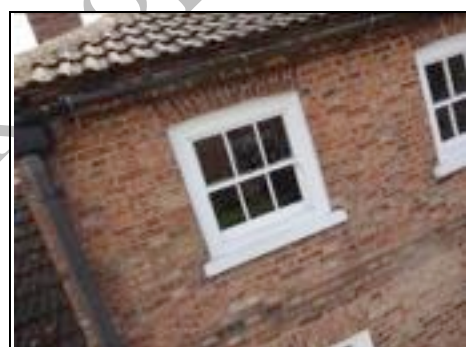


This section covers fascias, soffits and bargeboards and windows and doors, and any detailing such as brick corbelling etc.

Fascias and soffits offer protection to the rafter feet and also allow the securing of the guttering. Windows primary functions are to admit light and air, but they also have thermal and sound properties. The doors allow access and egress within the property.

Fascias and Soffits

Some of the fascias and soffits are painted timber however the majority are formed in brick corbelling.



Rainwater goods directly attach to the brick corbelling

Windows and Doors

Timber sliding sash windows

The property has single glazed timber sliding sash windows with and without sill details, older windows tend to have minimum sills. The windows are generally in average to poor condition with some wet rot, cracking and flaking paintwork.



No sill detail

We would specifically comment that you need to check and ensure that the window sill detail is appropriate for this age, type and style of building.

For any windows that you replace do get agreement with the Listed Building/Conservation Officer. We note plastic windows have been used, please see our comments in the Executive Summary as these are inappropriate for a listed building unless approval has been given.

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Very hard filler in some instances



Cracking and there is general flaking of paintwork

Conservation Officers Requirements

Do not be surprised if the Conservation Officer wants particular types of windows on this property. They look to be relatively old due to their sill detail and of course they will not be replaced with a replacement in plastic.



Wet rot to front door

ACTION REQUIRED: Please see our further comments in the Executive Summary.

Doors

Similar comments to the windows, we noted wet rot to the front French doors on the left side of the property.

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Knife Test

We have tested the windows by pushing a knife into a random selection. We generally tend to do the lower windows as access is easier.

General Information on Sliding Sash Windows

If you have not lived in a property with sliding sash windows previously, you should be aware that typically they are draughty and rattle. There is no easy way to eliminate this problem. In our experience, a general ease and adjustment of the windows and the addition of a plastic tube draught sealer (available from most DIY stores) and regular redecoration is the best option to minimise the draughtiness of the windows in this case. Horizontal Sliding Sash Windows (sometimes known as York Windows).



Wet rot in the front sliding sash window

Semi-circular bay window

This looks like an old window, it is referred to as a bow window within the Grade II listed building description. We would think of it more as a semi-circular window with bow windows being wider generally. There may be some history behind this, we would speak to the conservation officer to see if they can help further.



Semi-circular window to right



Inside of semi-circular window

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Modern 1970s timber windows

There are modern 1970s timber windows to the left side of the building.



Modern 1970's timber windows to left building

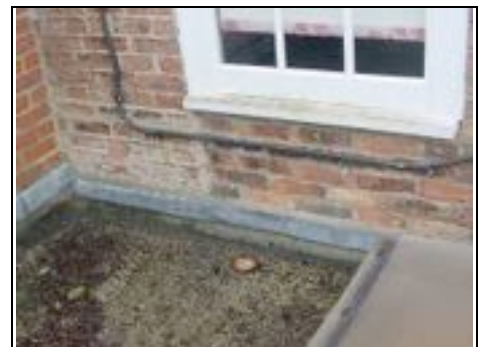
Plastic double glazed windows

To the rear the property has plastic double glazed windows. It is unlikely these were given permission. From what we understand from your discussions with the owners they will replace them. We believe it is probably best if you have a monetary discount on the property and that you then take over replacement of all windows, etc.



Plastic window to rear

ACTION REQUIRED: We would recommend a monetary discount on the property and also discussions with the Listed Building/Conservation Officer as to what they are and are not happy with on the property generally with regard to modern alterations.



Plastic windows to rear have reduced sill width which may be a requirement of the listed building/conservation officer

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Metal windows to rear

The property has metal windows to the rear where we could see concrete repairs have been carried out around them. Some metal windows can be the older style windows added by blacksmiths, etc. This does need further investigation.



Concrete repairs to rear metal windows

Finally, we have carried out a general and random inspection of the external joinery. In the case of the fascias and soffits it is typically a visual inspection from ground level. With the windows and doors we have usually opened a random selection of these during the course of the survey. In this section we are aiming to give a general overview of the condition of the external joinery. Please also see the Internal Joinery section.

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EXTERNAL DECORATIONS

The external decorations act as a protective coat for the building from the elements. Where this protective covering has failed, such as with flaking paintwork, the elements will infiltrate the structure. This is of particular concern as water is one of the major factors in damage to any structure.

Windows and Doors

The paintwork is looking weathered. As mentioned there is some rot and minor rot in some areas so the property would benefit from being redecorated the sooner the better. It is always important with listed buildings to keep everything as watertight as possible. Part of this is to have regular painting of the property.

Finally, ideally external redecoration is recommended every four to five years dependent upon the original age of the paint, its exposure to the elements and the materials properties. Where painting takes place outside this maintenance cycle repairs should be expected. Ideally redecoration should be carried out during the better weather between mid-April and mid-September.

Please see our comments in the External Joinery section.

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INTERNAL



CEILINGS, WALLS, PARTITIONS AND FINISHES

In this section we look at the finish applied to the structural elements such as the plasterwork applied to the ceiling joists, walls or partitions, together with the construction of the internal walls and partitions.

Ceilings

From our visual inspection of the ceilings and our general knowledge of this age and type of construction we believe that the ceilings are likely to be lath and plaster with a modern plaster to the new parts. To the top floor there is some proprietary boarding with a trim over it. There are instances where there is an asbestos element to proprietary boarding.



Spine beam

Spine Beams

The spine beams are the main supporting beams visible in some of the rooms. These have possibly been added at a later date as they do not seem to follow a consistent pattern.



Proprietary boarding

ACTION REQUIRED: Our insurance company requires us to advise we are not asbestos surveyors and advises us to recommend asbestos surveyors are instructed and that you have your own asbestos survey carried out.

An asbestos report is required on the property as a whole.



Ceiling finishes on stair area

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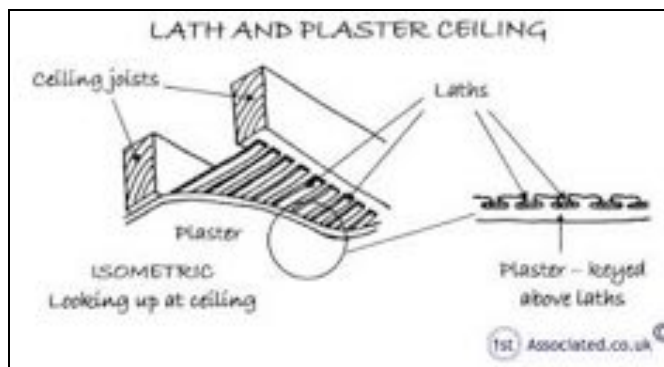
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Lath and Plaster Defined

Laths are thin strips of timbers which are fixed to the structure. Wet plaster is applied to the laths, usually in several layers. The plaster forms a key as it is forced between the laths. This plaster, once dry, is given further coats and often a decorative finish.



Lath and plaster ceiling

Modern Plaster Defined

Usually a Gypsum plaster which can be applied with a skim coat to the ceilings or the walls over either an older or modern plaster.

Internal Walls and Partitions

These are, we believe a mixture of solid and structural and non-structural studwork construction. There are cracks in some of these. It is of course impossible to determine the construction without opening up the walls and we have therefore taken an educated guess.

ACTION REQUIRED: Please see our comments in the Executive Summary.

Perimeter Walls

Originally these would have been constructed with an older style lime plaster. Again, we cannot be 100% certain of the wall construction without opening them up which goes beyond the scope of this report.

Old Plaster Defined

Typically this was pre-War years and would usually have included lime and is often on laths.

Finally, ceilings, walls and partitions have been inspected from floor level and no opening up has been undertaken (unless permission has been obtained by yourselves). In some cases the materials employed cannot be ascertained without samples being taken and damage being caused. We cannot comment upon the condition of the structure hidden behind plaster, dry lining, other applied finishes, heavy furniture, fittings and kitchen units with fitted back panels.

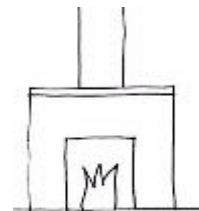
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CHIMNEY BREASTS, FLUES AND FIREPLACES



With the advent of central heating fireplaces tend to be more a feature than an essential function in most properties.

The chimney breasts are located in most rooms as they would have been originally as this property was of course built when fires were the only form of heating.

At the time of the survey no chimneys were in use as the property had been unoccupied for some time, as we understand it.



Fireplace in reception room one front right

Any chimneys you do intend to use should be swept and a check should be carried out that a lining is in place.

Finally, we will comment on the condition of the chimney breast where we can see the chimney breast. If we can see a chimney breast has been removed we will inspect for signs of movement and advise. However, often the chimney breasts are hidden so we cannot comment. Also additional support can be concealed very well when chimney breasts are hidden particularly when plastered over.

Your Legal Advisor needs to specifically check with the Local Authority for removed chimneys and associated chimney breasts and Building Regulations Approvals and advise by e-mail immediately if chimney breasts are found to have been removed. We would recommend opening up the structure to check the condition. If we are not advised we will assume the relevant Building Regulations Approval has been obtained.

It is strongly recommended that flues be cleaned and checked for obstructions prior to use to minimise the risk of hazardous fumes entering the building.

Please also see the Chimney Stacks, Flues Section of this report.

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FLOORS



Functionally floors should be capable of withstanding appropriate loading, preventing dampness, have thermal properties and durability. In addition to this upper floors should offer support for ceilings, resistance to fire and resistance to sound transfer.

Generally all the floors are undulating and there is deflection within the floors. Considerable thought and care needs to be taken when carrying out work to the floors.

ACTION REQUIRED: Please see our comments in the Executive Summary with regard to the floor joists and the dampness in the walls.

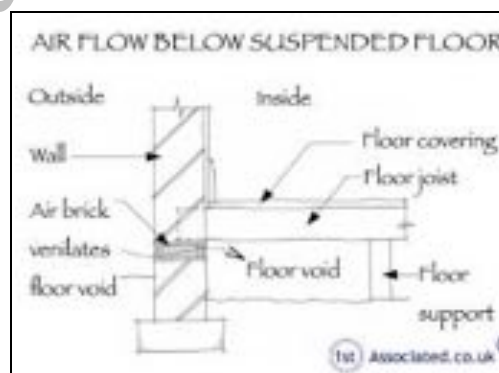
Basement

The floors are constructed in a brick tile.

Ground Floor

There is a mixture of a suspended floor/ joist and floorboards with embedded timbers (over cellar) and solid floors both old and modern, concrete where visible.

Suspended timber floors require air movement underneath to minimise wet rot, dry rot and woodworm.



Suspended timber floor

However, we have not opened up the floors or lifted the carpets / floor coverings, etc.

ACTION REQUIRED: Please see our comments with regards to air vents and getting an airflow underneath the ground floor. We would also recommend a section is opened up to check its condition as wet rot, dry rot and woodworm can take place under suspended timber floors. There are also the additional problems that some elements of the ground floor are concrete and as such they can act like



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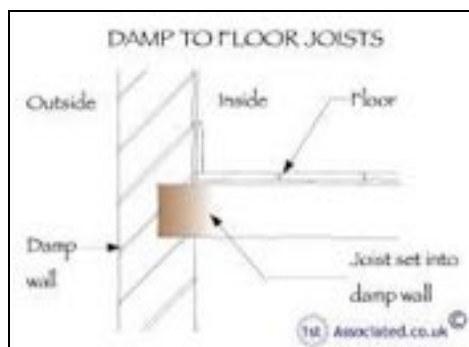
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blotting paper where there is any dampness in the property. Please note our comments with regard to reducing the ground level around the property and also adding in French drains and a soakaway to guide the water away from the property.

First Floor

We have assumed that the first floor construction is joist and floorboards with embedded timbers, as this is typical in this age of property. We also noted spine beams giving support. The joists run both side to side (right side) and front to back (left side).

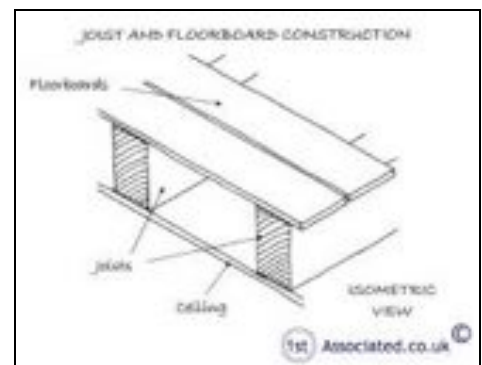


Embedded timbers



Joist and Floorboard Construction Defined

These are usually at first floor level consisting of a joist supported from the external walls, either built in or, in more modern times, sitting upon joist hangers, sometimes taking additional support from internal walls, with floorboards fixed down upon it.



Joist and floorboards

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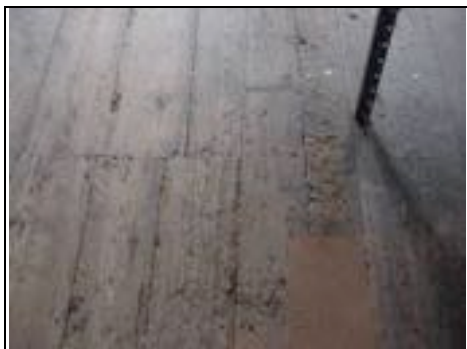
Second/Top Floor

Again, we have assumed that the first floor construction is joist and floorboards with embedded timbers, as this is typical in this age of property. The joists run side to side.

Please see our comments on the vents and also note that there may be some older larger timbers which we have heard called coffin timbers which have historic value and interest so keep the Conservation Officer informed when you are carrying out work to the floors.



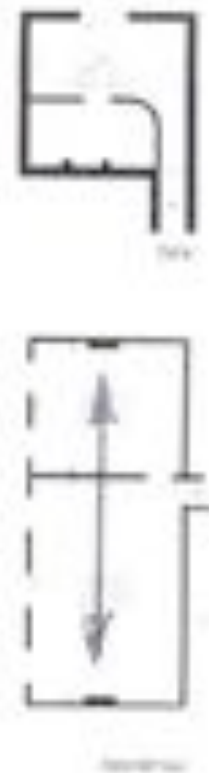
Dip in floor of top floor right room
(all directions given as you face the front of the property)



Boarding in top floor left room



Old boarding in top floor left room



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Left Building/Annexe

We had a very limited view of the floorboards, where we could see them in one of the cupboards it indicated that they run front to back however further investigation is required.

ACTION REQUIRED: Open up the floors to check the condition of the timbers where they are bedded into the walls and also the condition of the timbers generally.



Floorboards in cupboards indicating joists run from front to back on first floor of left side of building

Our concern with the left side of the building is that the area is newly carpeted and we do not know what work has taken place beneath the flooring. We can however see generally in the left side that little consideration has been given to this being a listed/older building and modern materials have been used.

ACTION REQUIRED: Your legal Advisor needs to check and confirm if the Conservation Officer has been involved at all with regard to the work that has been carried out on the left side of the property and if they have or have not then discussions need to take place with regards to the work and what they would require to be done.

Finally, we have not been able to view the actual floors themselves due to them being covered with fitted carpets, floor coverings, etc. The comments we have made are based upon our experience and knowledge of this type of construction. We would emphasise that we have not opened up the floors in any way or lifted any floorboards.

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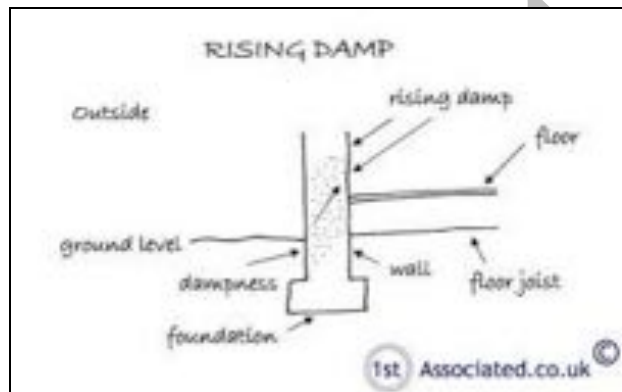


DAMPNESS

In this section we look at any problems that are being caused by dampness. It is therefore essential to diagnose the source of the dampness and to treat the actual cause and not the effect of the dampness.

Rising Damp

Rising damp depends upon various components including the porosity of the structure, the supply of water and the rate of evaporation of the material, amongst other things. Rising damp can come from the ground, drawn by capillary action, to varying degrees of intensity and height into the materials above. Much evidence points towards there being true rising damp in only very rare cases.



Rising damp

A visual inspection and tests with a moisture meter have been taken to the perimeter walls. In this particular case we have found significant rising damp. Interestingly there was a fair amount on internal walls which needs some further investigation.



High readings of rising damp



Rising damp

ACTION REQUIRED: Please see the Executive Summary.

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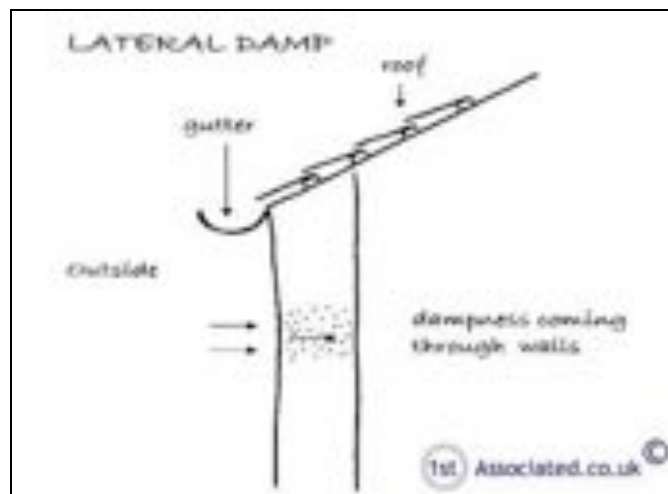
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Lateral or Penetrating Dampness

This is where water ingress occurs through the walls. This can be for various reasons such as poor pointing or wall materials or inadequate gutters and downpipes, such as poorly jointed gutters.



Lateral damp

We used a resistance meter on the external walls. We found it to be in line with what we would expect for an unoccupied older property.

ACTION REQUIRED: Please see our comments in the Executive Summary.

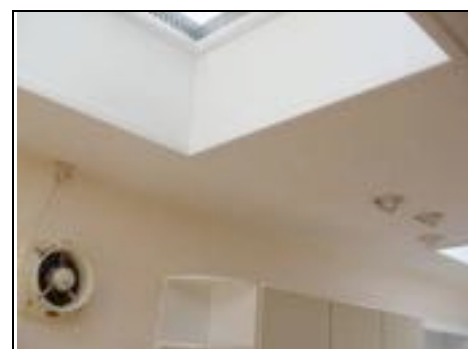


Testing for lateral dampness

Condensation

This is where the humidity held within the air meets a cold surface causing condensation.

At the time of the inspection there were no significant signs of condensation however the property has been uninhabited. We did note that there were roof windows in the kitchen which will tend to get condensation. We were also pleased to see a large extract fan in the kitchen of the type which we like rather than the smaller extract fans.



Old style extract fan in kitchen

Condensation on sliding sash windows

You are likely to get condensation on sliding sash windows.

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Condensation depends upon how you utilise the building. If you do your washing and then dry it in a room without opening a window you will, of course, get condensation. Common sense is needed and a balance between heating, cooling and ventilation of properties and opening windows to air the property regularly.

Extract fans in kitchens, bathrooms and drying areas

A way of helping to reduce condensation is to have good large extract fans with humidity controlled thermostats within the kitchens and bathrooms and also in any areas where you intend to dry clothes which are moisture generating areas.

ACTION REQUIRED: We would recommend large good quality humidity controlled extract fans be added to kitchens, bathrooms and any rooms where you intend to dry clothes.

ANTICIPATED COST: We would anticipate costs between £250 - £500 per large humidity controlled extract fan depending upon the wiring required; quotations required.

Finally, effective testing was prevented in areas concealed by heavy furniture, fixtures such as kitchen fittings with backboards, wall tiles and wall panelling. We have not carried out tests to BRE Digest 245, but only carried out a visual inspection.

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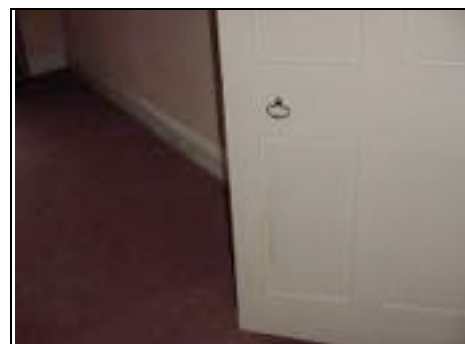
INTERNAL JOINERY



This section looks at the doors, the stairway, the skirting boards and the kitchen to give a general overview of the internal joinery's condition.

Doors

The doors are mixture of doors including painted panel doors. We do feel that the older style doors are part of the history and feel of the property and we would not recommend replacing them.

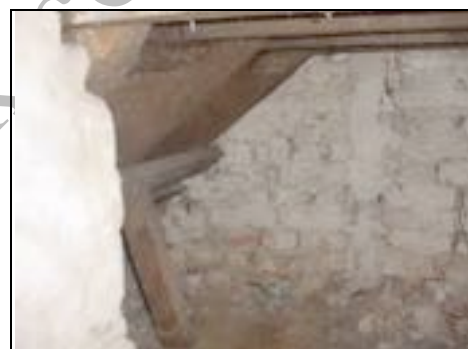


Typical door

Staircase

Some of the staircases had movement in them.

ACTION REQUIRED: Please see our comments in the Executive Summary with regard to the staircase.



Stairs need securing

Kitchen

The property has two kitchens. The kitchen to the left side is unfinished and there is a small utility area. There is also a kitchen in the right side in the modern part of the property.

We have not tested any of the kitchen appliances.



Kitchen unfinished in left side/annexe

Finally, it should be noted that not all joinery has been inspected. We have viewed a random sample and visually inspected these to give a general over-view of the condition. Please also see the External Joinery/Detailing section.

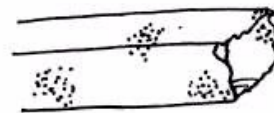
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TIMBER DEFECTS



This section considers dry rot, wet rot and woodworm. Wet and Dry rot are species of fungi, both need moisture to develop and both can be very expensive to correct. We would also add that in our experience they are also often wrongly diagnosed.

Dry Rot

*Dry rot is also sometimes known by its Latin name *Serpula lacrymans*. Dry rot requires constant dampness together with a warmish atmosphere and can lead to extensive decay in timber.*

We have not visually seen any significant dry rot during the course of our inspection however conditions are in place for dry rot particularly under the floor. We would advise that we have not opened up the floors and we had a limited view of the roof.



We would particularly check in the utility room whether there is an excess of dampness as there may be wet rot or dry rot in this area.

Possible wet rot or dry rot in utility room in left building

Wet Rot

*Wet rot, also known by its Latin name *Contiophora puteana*, is far more common than dry rot. Wet rot darkens and softens the wood and is most commonly seen in window and doorframes, where it can relatively easily be remedied. Where wet rot affects the structural timbers in a property, which are those in the roof and the floor areas, it is more serious.*

We noted wet rot to the windows and conditions are in place under the floor for wet rot.

Again, we would advise that we have not opened up the floors and we had a limited view of the roof. We would recommend opening up of the floor.

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Woodworm

Active woodworm can cause significant damage to timber. There are a variety of woodworm that cause different levels of damage with probably the worst of the most well known being the Death Watch Beetle. Many older properties have woodworm that is no longer active, this can often be considered as part of the overall character of the property.

The roof is the main area that we look for woodworm. Within the roof we found the usual visual signs of past woodworm activity. The difficulty is establishing whether the woodworm is now active. We believe conditions are favourable for woodworm underneath the floors and also within the roof due to the insulation, which is why we are recommending ventilation is improved in this area.



Woodworm

In many properties there is an element of woodworm that is not active. Our inspection is usually restricted by insulation covering some of the timbers and general stored items in the roof, as it is restricted throughout the property by general fixtures and fittings.

ACTION REQUIRED: If you wish to be 100 per cent certain that there is no woodworm the only way would be to check the property when is emptied of fixtures and fittings etc and the roof space emptied of insulation and ideally the roof space should be lit to allow close inspection.

We would also advise that during the spring months woodworm tends to breed and in our opinion this is the best time to inspect the property for woodworm. We would suggest that you inspect during this period and advise us if you see any frass and we would be more than happy to return to view.

Also, be aware of woodworm companies that are looking to make a profit of course out of any woodworm work which sometimes is not carried out appropriately for a listed building. There are many ways of resolving woodworm other than spraying chemicals on it; some of them are as simple as making the environment not appropriate for the woodworm which we can advise you on.

Frass defined

The chewed up sawdust that the beetle leaves behind. A light coloured dust and a light coloured hole indicates this is relatively recent. Obviously if it is a darker coloured frass, or darker coloured hole, it means it is older and the woodworm may have gone.

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Finally, when you move into the property, floor surfaces should be carefully examined for any signs of insect infestation when furniture and floor coverings are removed together with stored goods. Any signs that are found should be treated to prevent it spreading. However, you need to be aware that many damp and woodworm treatment companies have a vested interest in selling their products and therefore have fairly cleverly worded quotations where they do not state if the woodworm they have found is 'active'. You should ask them specifically if the woodworm is active or not.

We would also comment that any work carried out should have an insurance backed guarantee to ensure that if the company does not exist, or for whatever reason, the guarantee is still valid. More importantly it is essential to ensure that any work carried out is carried out correctly.

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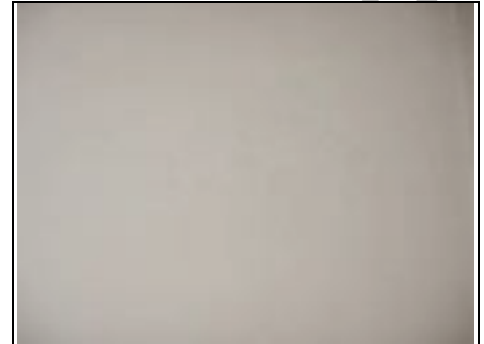
INTERNAL DECORATIONS



With paints it should be remembered that up to 1992 lead could be used within paint and prior to this most textured paints (commonly known as Artex) contained an element of asbestos up to 1984, so care should be taken if the paintwork looks old and dated.

Internal decorations are dated and in need of redecoration, for example we can see the shadows of the three flying ducks in one of the rooms.

Be aware of modern paints, we would not recommend using a plastic based modern paint but would recommend using a water based paint or lime based paint as plastic based paints can cause problems in older properties.



Shadows of three flying ducks

Finally, we would draw your attention to the fact that removal of existing decorative finishes may cause damage to the underlying plasterwork necessitating repairs and making good prior to redecoration.

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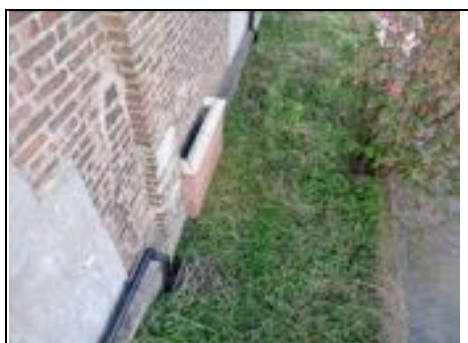




CELLAR/BASEMENT

Cellars and vaults tend to be found in older properties and offer a useful space, although usually they are damp, unless some treatment has taken place such as the tanking of the walls, which is a lining process, or an external damp proofing membrane of some type has been added, or if internally the walls have been lined, therefore hiding the damp. Cellars are often susceptible to flooding from excessive rain, rising water table levels or even blocked drains.

This is adjacent to the River Waring. As you are aware there is flooding in the area. We can see what the existing owner has done to limit the water getting into the cellar. We also believe that a sump pump should be added in this area.

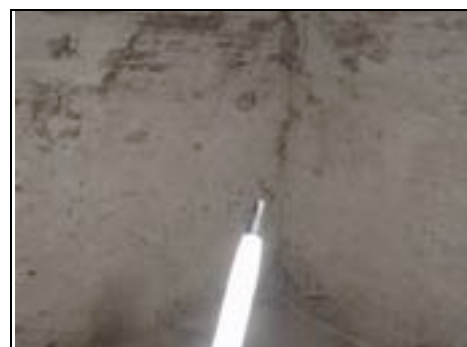


Window of cellar blocked to stop flooding



Dampness fairly high

Cracking is noted to the front left corner which should be monitored as part of the insurance claim.



Cracking to front left corner

Finally, we have made a visual inspection of the cellar/vault only and have no way of knowing what the construction is without opening up the structure.

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THERMAL EFFICIENCY



Up until the mid 1940s we did not really consider insulation in properties, for example it was only in the 1960s that we started putting insulation in the roof and then it was about 50mm, in the 1970s this was upgraded to 100mm. Then we started to think about double glazing and cavity wall insulation. Since then insulation standards have increased considerably and today we are looking at typically using insulation not only in the roof but also in the walls, floors and windows and more recently considerable work has been carried out on how efficient boilers are within properties. Care has to be taken that properties are not insulated disproportionately to the ventilation as this can cause condensation and you should be aware that you need to ventilate any property that is insulated.

General

Older properties will not be as thermal efficient in the way a modern property would be.

Zoopla (and others may do similar) do an energy assessment on a property of how much typical bills will be, but we have not had feedback on how accurate this is as yet but we do feel it is an interesting step forward in looking at energy efficiency of a property, although there are all sorts of arguments as to how the energy efficiency calculations are carried out.

Roofs

Current Building Regulations require insulation of 300mm. In this instance the loft is over-insulated and ventilation is required.



Typical heat loss



Over-insulated?

ACTION REQUIRED: Add ventilation. We would also recommend removing some of the insulation for inspection of woodworm. The building may perform better with less insulation in it.

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Walls

The walls to this property are solid in the sense that they do not have a cavity as a modern property would have. Also they are unlikely to have any substantial insulation, however, unfortunately it is generally very difficult to improve the insulation without affecting the external or the internal appearance of the property.

Windows

The windows are a mixture of single and double glazed, predominately single sliding sash windows with some double glazed which as you are aware are likely to need to be removed and therefore will have poor / reasonable thermal properties.

Services

Service records should be obtained. It is essential for the services to be regularly maintained to run efficiently.

Summary

Assuming the above is correct, this property is average compared with what we typically see. Please note we have not seen the Energy Performance Certificate.

Further information can be obtained with regard to energy saving via the Internet on the following pages:

HTTP//www.est.org.uk, which is by the Energy Saving Trust and includes a section on grant aid.

or alternatively www.cat.org.uk (Centre for Alternative Technology)

*or Sustainable Energy Without the Hot Air by David J C MacKay
HTTP//www.withouthotair.com/Videos.html to download for free or buy a paper copy as we did.*

It is worth watching the video How Many Light Bulbs? by David J C MacKay – can be viewed on YouTube

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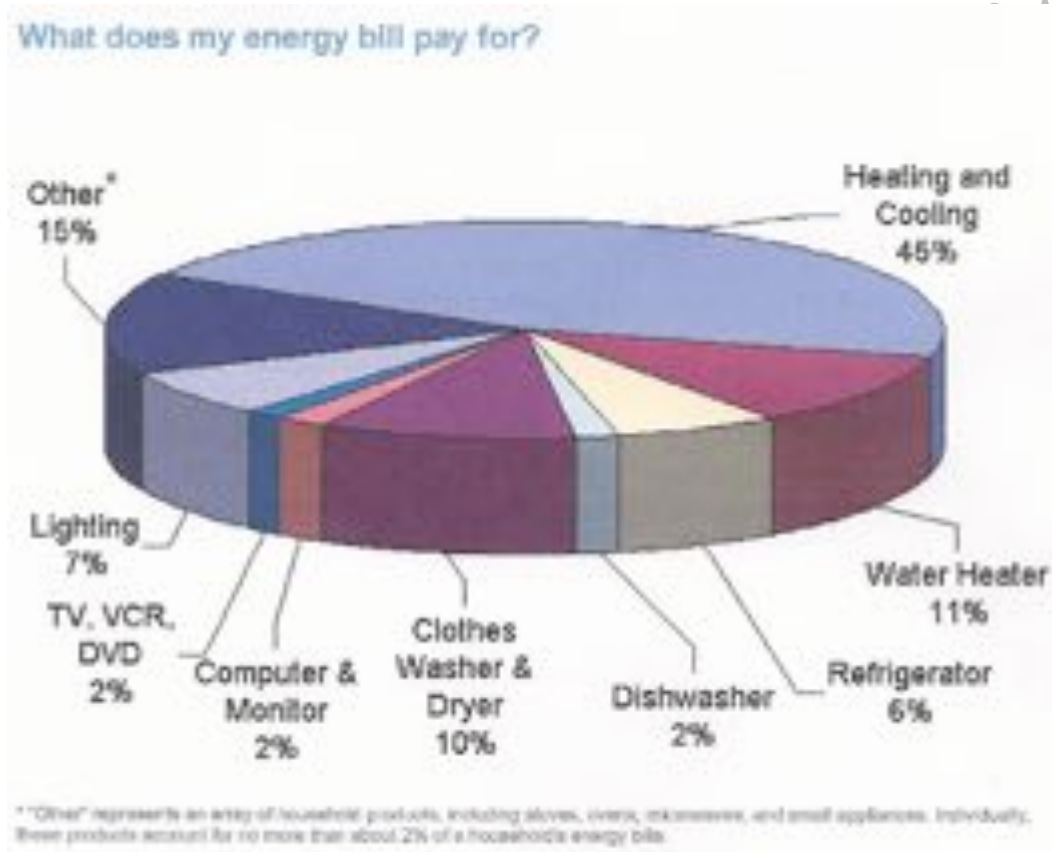
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HIPs

We understand that HIPs were suspended from 20th May 2010. Energy Performance Certificates are required before a sale completes.

Finally, we would comment that energy we feel will become a major consideration in years to come, particularly with the greater focus in modern buildings on energy efficiency.



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OTHER MATTERS

In this section we put any other matters that do not fit under our usual headings.

Security

An alarm box was noted to the right side of the property and the security alarm was on when we entered this property as you know as you managed to turn it off. A good alarm system should not only help reduce break-ins but also help reduce your insurance. We are not experts in this field and therefore cannot comment further.



Alarm system

ACTION REQUIRED: Further information should be obtained from the vendor and the installer.

Fire / Smoke Alarms

Some smoke detectors were noted we believe these to be battery operated. The current Building Regulations require that they be wired into the main power supply. Obviously in a property of this age this is difficult, as it would mean having surface mounted wires or cutting wiring into the plaster.

ACTION REQUIRED: We would recommend, for your own safety, that additional smoke detectors are installed. We would always recommend a hard wired fire alarm system and are also aware that some now work from a wireless signal which may be worth investigating. Whilst fire is relatively rare it is in a worst case scenario obviously devastating.

Insurance

We would always recommend staying with the existing insurance company, and then if there are any problems you should not have the difficulty of negotiating with two insurance companies passing the blame between each other.

We would refer you to our comments with regard to building insurance throughout this report.

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Asbestos

In a property of this age there may well be some asbestos. In this case we have noted asbestos to the gutters, it also may be to some of the building materials such as the ceilings.

In years gone by asbestos was commonly used as wood and can be found in all sorts of places. Asbestos was used post war until it was banned only in the UK relatively recently. It is rumoured that it was still used after this point in time where products were imported from countries where it is not banned.

Our insurance company requires us to advise we are not asbestos surveyors and advises us to recommend asbestos surveyors are instructed and that you have your own asbestos survey carried out.

ACTION REQUIRED: If you wish to confirm you are 100 percent free of asbestos you need to have an asbestos survey carried out.

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SERVICES

This survey does not include any specialist reports on the electricity supply and circuits, heating or drainage, as they were not requested. The comments that follow are based upon a visual inspection carried out as part of the overall Building Survey.

Services and specialist installations have been visually inspected. It is impossible to examine every detail of these installations without partially dismantling the structure. Tests have not been applied. Conclusive tests can only be undertaken by suitably qualified contractors. The vendor/seller should be requested to provide copies of any service records, test certificates and, ideally, the names and addresses of the installing contractors.

ELECTRICITY



It is strange to think that electricity only started to be used in domestic properties at the turn of the 19th century with gas lighting still being the norm for a good many years after.

Periodic inspections and testing of electrical installations is important to protect your property from damage and to ensure the safety of the occupants. Guidance published by the Institution of Engineering and Technology (IET) recommends that inspections and testing are undertaken at least every 10 years (we recommend every five years) and on change of occupancy. All electrical installation works undertaken after 1st January 2005 should be identified by an Electrical Installation Certificate.

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Fuse Board

The electric fuses and consumer units were located in the front right room of the right side of the building which looked 1980's. To the left side/annexe the electrics are 1990's/2000's in proposed kitchen area and better are now available.



Fuse Board to left building

Earth Test

We carried out an earth test in the kitchen area to the socket point that is normally used for the kettle, this proved satisfactory.



Earth test

ACTION REQUIRED: As the property is changing occupancy an Institution of Engineering and Technology (IET) test and report and any recommendations should be carried out by a NICEIC registered, or equivalent, approved electrical contractor or similarly approved.

In addition to this your Legal Advisor is required to make full enquires with the owners to establish if any electrical installation work has been carried out and to provide suitable certification for any works carried out after 1st January 2005. Any comments made within this report or verbally do not change this requirement.

For basic general information on this matter please see the appendices at the end of this report.

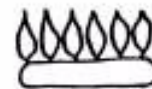
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GAS



There is very little we can check for in a gas installation, we do inspect to make sure there is one and that it has a consumer unit and that the boilers are vented. Ideally you should have a service inspection carried out by an independent Gas Safe registered plumber.

We are advised that the property has mains gas.
The consumer unit is located in the small rear right room.

All gas appliances, pipework and flues should be the subject of an annual service by a competent engineer, i.e., a member of Gas Safe; works to gas appliances etc., by unqualified personnel is illegal. Unless evidence can be provided to confirm that there has been annual servicing we would recommend that you commission such a service prior to use to ensure safe and efficient operation.



Gas in small rear right room

ACTION REQUIRED: As a matter of course it is recommended that the entire gas installation is inspected and made good, as necessary, by a Gas Safe registered contractor. Thereafter the installation should be serviced annually.

Carbon Monoxide

No carbon monoxide monitors were noted.

ACTION REQUIRED: It is recommended that an audible carbon monoxide detector is fitted (complying with British Standard EN50291) within the property. Carbon monoxide detectors are no substitute for regular servicing of gas installations and their flues.

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PLUMBING AND HEATING



In this section we do our best from a visual inspection to look at how the water is supplied to the property, how the supply is distributed around the property, how it is used to heat the property and how it is discharged from the property.

Water Supply

The controlling stopcock was not located, they are normally located under the kitchen sink.

It is important that its presence is established in case of bursts or leaks. The stopcock and other controlling valves have not been inspected or tested for operational effectiveness.

ACTION REQUIRED: Ask the owners or Estate Agent to show you where it is, although we would not expect most Estate Agents to know where it is.

Water Pressure

When the taps were run to carry out the drainage test we checked the pressure literally by putting a finger over the tap and this seemed slightly low. The Water Board have to guarantee a certain pressure of water to ensure that things like boilers, particularly the instantaneous ones have a constant supply of pressured water (they would blow up if they didn't!).

Cold Water Cistern

Please see our comments in the Roof Section.

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Hot Water Cylinder

There is a hot water cylinder located in the bathroom on the first floor.

The hot water cylinder is factory insulated, which indicates that it is relatively new (in this case we mean in the last 30 years). This cylinder will therefore have a good thermal efficiency, although not as good as the more modern hot water cylinders.



Factory lagged cylinder in bathroom on first floor

Water Softener

There is a water softener on the first floor of the left building.



Water softener on first floor of left building

Plumbing

The plumbing, where visible, comprises copper piping. No significant leakage was noted on the surface, although most of the pipework is concealed in floors, walls and ducts.

Heating

There is a floor mounted Glow worm boiler located in the ground floor rear right room.

One boiler for the whole property?

We would recommend having a separate boiler if you do intend to have these as separate buildings.



Boiler in small rear right room

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Our limited inspection of the hot water and central heating system revealed no evidence to suggest any serious defects but we would nevertheless recommend that the system be tested and overhauled before exchange of contracts and that a regular maintenance contract be placed with an approved heating engineer.

Ten Minute Heating Test

There was no owner / occupier at the property and therefore we do not turn the heating on in case there is a problem with it.

ACTION REQUIRED: We recommend you return to the property with the estate agent to turn the heating on to ensure it is working.

Finally, it should be noted that the supply pipe from the Water Company stopcock to the internal stop tap is the responsibility of the property owner.

We cannot comment on the condition of the water service pipe to the building. It should be appreciated that leaks can occur for some time before signs are apparent on the surface.

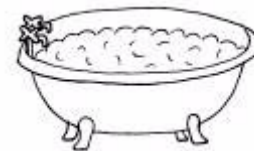
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BATHROOM



In this section we consider the overall condition of the sanitary fittings such as the bathroom, the kitchen, the utility room and the cloakroom.

Bathrooms, shower rooms and w.c.'s

The property has several bathrooms, shower rooms and w.c.'s, which looked from as new condition to the left shower room and w.c. to in a classic dated style to the w.c. under the stairs.



Modern shower on left side of building



Classic sink in ground floor w.c.

Finally, although we may have already mentioned it above we would reiterate that it is important to ensure that seals are properly made and maintained at the junctions between wall surfaces and baths and showers etc. We normally recommend that it is one of the first jobs that you carry out as part of your DIY on the property, as water getting behind sanitary fittings can lead to unseen deterioration that can be costly, inconvenient and difficult to repair.

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MAIN DRAINS



The sanitary system, as we know it now, came into being some 100 years ago during the Victorian era and works so successfully today it is often taken for granted. It is only in recent years that re-investment has taken place to upgrade the original drainage systems.

It is assumed that the foul drains from the property discharge into a public sewer; this should be confirmed by your Legal Advisor prior to exchange of contracts, who should also provide information in respect of any common or shared drains including liability for the maintenance and upkeep of the same.

The cold taps have been run for approximately quarter of an hour in the bathroom on the right side of the building, no build up or back up was noted.

Inspection Chambers / Manholes

For your information, inspection chambers / manholes are required to be provided in the current Building Regulations at each change of direction or where drainage runs join the main run.

We have identified two inspection chambers / manholes.

Manholes Defined

Access areas which usually fit a man (or woman) into them and are put in where the drains change direction.

Inspection Chamber / Manhole One located in the courtyard

We duly lifted the cover and found it to be free flowing at the time of our inspection.

From what we could see it is brick built.



Manhole in courtyard

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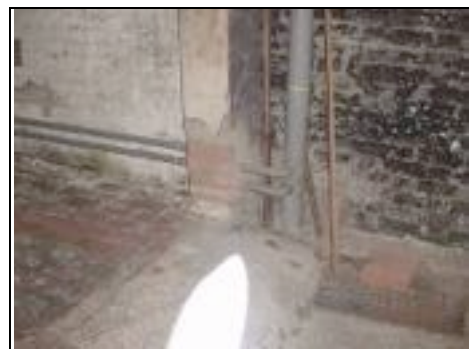
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Inspection Chamber / Manhole Two located within the garage

We were unable to lift the manhole therefore are unable to comment.



Manhole in garage

We have only undertaken a visual inspection of the property's foul drains by lifting covers and running water from the taps within the house.

Finally, it must be emphasised that the condition of the property's foul drains can only be ascertained by the carrying out of a test; such a test has not been undertaken. Should there be leaks in the vicinity of the building then problems could occur, particularly with respect to the stability of the building's foundations. Drainage repairs are inevitably costly and may result in damage being caused to those areas of the property beneath, or adjacent to, which the drains have been run.

Rainwater/Surface Water Drainage

Whilst very innocent looking rainwater downpipes can cause lots of problems. If they discharge directly onto the ground they can affect the foundations and even if they are taken away to soak-aways they can attract nearby tree roots or again affect foundations.

Some rainwater drains are taken into the main drainage system, which is now illegal (as we simply do not have the capacity to cope with it), and can cause blockages to the main drains! Here we have done our best from a visual inspection to advise of any particular problems.

We have been unable to determine the ultimate means of rain/surface water disposal. In this era of property they are likely to be combined/shared drains which are where the foul water and the surface water combines. These can be a problem during heavy rainfall and peak periods, such as the 9 o'clock rush to work.

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Soakaway

We recommend the addition of a new soakaway to the rear of the garden to get rainwater away from the property particularly where it is discharging onto the ground.

ACTION REQUIRED: We believe that new soakaways should be five to six metres away to meet Building Regulations and we recommend you check and confirm this. Again, as this is a Listed Building you will need to take advice and advise the Conservation Officer before the work is carried out.

We would always recommend a 'cup of tea' meeting with the Conservation Officer to get to know each other and for them to understand your intentions for the building to confirm they are happy with them. There will no doubt be a lot of interest in this building.

Finally, rain/surface water drains have not been tested and their condition or effectiveness is not known. Similarly, the adequacy of soak-aways has not been established although you are advised that they tend to silt up and become less effective with time.

Please also see our comments within the Gutters and Downpipes section.

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OUTSIDE AREAS

The main focus of this report has been on the main building. We have taken a cursory inspection of the outbuilding and would be happy to return and carry out a survey if so required.

GARAGE/PARKING



Garage

We would term the garage as being in a dilapidated state with roof leaks visible which do look to have been repaired particularly with regard to the flashings to the valley gutter. Please see our comments in the Executive Summary and Roof Coverings Section.



Tingles to slates on garage roof



Rear of garage on left side



Roof window to garage area



Twist in rear slate roof over garage



Verge needs repointing to the slates of the garage roof

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Damage to garage/workshop roof



Damage to garage/workshop roof

Note, the driveway slopes towards the garage and we would expect rainwater to run under the garage door. We would recommend a running gulley is added.



Garage area and workshop



Garage/workshop



Rainwater runs under garage door

Parking

Off road parking is available for two cars.

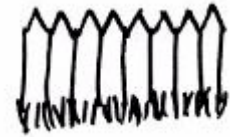
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EXTERNAL



Garden

There is a large garden.



Garden

Garden Wall

The garden wall is listed. The listing states it has been listed for completeness and group value. It also, we suspect, has been listed to reduce any chances of development within the garden area.



Wall to rear of property



Garden wall

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Wall around property repaired and extended



Buttress



Garden wall street view

OUTBUILDINGS

Stables to front left



Stables



Stables



Cement mortar to flashing of stables

Lean-to



Old lean-to

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Coal Bunker and W.C.



Timber lintel in coal bunker which indicates there may be other timber lintels

Boundaries

The left hand boundary (all directions given as you face the property) is usually the responsibility of the subject property.

Often with older properties the boundaries are subject to negotiation and local practice. You do need to make sure that your solicitor is aware of the complications that can occur with older property boundaries.

Finally, whilst we note the boundaries, these may not be the legal boundaries. Your Legal Advisor should make further enquiries on this point and advise you of your potential liability with regard to any shared structures, boundary walls and fences.

Neighbours

Right Hand Neighbours

We spoke to the right neighbour, the antique/bric a brac shop. The owner was not present however one of the people in there advised they were there most days of the week and they had no specific problems or comments with regards to this property.

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POINTS FOR YOUR LEGAL ADVISOR

If you wish to proceed with your purchase of the property a copy of this report should be forwarded to your Legal Advisor and the following points should be checked by him/her:

- a) Responsibility for boundaries.
- b) Rights for you to enter onto the adjacent property to maintain any structure situated near or on the boundary and any similar rights your neighbour may have to enter onto your property.
- c) Obtain any certificates, guarantees or approvals in relation to:
 - i) Removal of any chimneys in part or whole.
 - ii) Certificates confirming chimneys have been swept
 - iii) Roof and similar renewals.
 - iv) Cavity wall insulation and cavity wall tie repairs.
 - v) Removal of any walls in part or whole.
 - vi) Double glazing or replacement windows.
 - vii) Drainage repairs
 - viii) Timber treatments, wet or dry rot infestations.
 - ix) Rising damp treatments.
 - x) Asbestos
 - xi) Central heating installation and maintenance.
 - xii) Planning and Building Regulation Approvals.
 - xiii) Have there been any structural problems referred to insurance companies, any insurance claims, monitoring or underpinning, etc.
 - xiv) Any other matters pertinent to the property.
- d) Confirm that there are no defects in the legal Title in respect of the property and all rights associated therewith, e.g., access.
- e) Rights of Way e.g., access, easements and wayleaves.
- f) Liabilities in connection with shared services.
- g) Adjoining roads and services.
- h) Road Schemes/Road Widening.
- i) General development proposals in the locality.

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- j) Conservation Area, Listed Building, Tree Preservation Orders or any other Designated Planning Area.
- k) Confirm from enquiries that no underground tunnels, wells, sewers, gases, mining, minerals, site reclamation/contamination etc., exist, have existed or are likely to exist beneath the curtilage of the site upon which the property stands and which could affect the quiet enjoyment, safety or stability of the property, outbuildings or surrounding areas.
- l) Our Report assumes that the site has not been put to contaminative use and no investigations have been made in this respect.
- m) Any outstanding Party Wall Notice or the knowledge that any are about to be served.
- n) Most Legal advisors will recommend an Envirosearch or a similar product is used by you to establish whether the area falls within a flood plain, old landfill site, radon area etc. If your Legal Advisor is not aware of Envirosearch or similar please ensure that they contact us and we will advise them of it. Any general findings should be brought to their logical conclusion by using appropriate specialist advisers.

However, with regard to Envirosearch or similar general reports please see our article link on the www.1stAssociated.co.uk Home Page.

- o) Any other matters brought to your attention within this report.

LOCAL AUTHORITY ENQUIRIES

Your Legal Advisor should carry out Local Authority searches to ascertain whether the property is a Listed Building and whether it is situated in a Conservation Area. They should also find out any information available with regard to Planning Applications and Building Control. We have not made any formal or informal Local Authority enquiries.

Finally, your Legal Advisor should carry out any additional enquiries they feel necessary and if they find anything unusual or onerous then we ask that they contact us immediately for our further comments.

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XXXX, Horncastle, Lincolnshire. LN9 XXX

It is our policy not to offer a conclusion to ensure that the Building Survey is read in full and the comments are taken in context.

If you would like any further advice on any of the issues discussed or indeed any that have not been discussed!

Please do not hesitate to contact us on **0800 298 5424**.

For and on Behalf of
XXX Limited
Independent Chartered Surveyors
XXX

This Draft Report is dated: XXX

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REFERENCES

The repair and maintenance of houses

Published by Estates Gazette Limited

Life expectancies of building components

*Published by Royal Institution of Chartered Surveyors and
Building Research Establishment*

Surveying buildings

*By Malcolm Hollis published by Royal Institution of
Chartered Surveyors Books.*

House Builders Bible

By Mark Brinkley, Published by Burlington Press

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LIMITATIONS

Our limitations are as the agreed Terms and Conditions of Engagement.

CONDITIONS OF ENGAGEMENT

The report has been prepared in accordance with our Conditions of Engagement dated XXX and should be regarded as a comment on the overall condition of the property and the quality of its structure and not as an inventory of every single defect. It relates to those parts of the property that were reasonably and safely accessible at the time of the inspection, but you should be aware that defects can subsequently develop particularly if you do not follow the recommendations.

ENGLISH LAW

We would remind you that this report should not be published or reproduced in any way without the surveyor's expressed permission and is governed by English Law and any dispute arising there from shall be adjudicated upon only by the English Courts.

SOLE USE

This report is for the sole use of the named Client and is confidential to the Client and his professional advisors. Any other persons rely on the Report at their own risk.

APPROVALS/GUARANTEES

Where work has been carried out to the property in the past, the surveyor cannot guarantee that this work has been carried out in accordance with manufacturers' recommendations, British/European Standards and Codes of Practice, Agreement Certificates and statutory regulations.

ONLY HUMAN!

Although we are pointing out the obvious, our Surveyors obviously can't see through walls, floors, heavy furniture, fixed kitchen units etc. they have therefore made their best assumptions in these areas.

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As this is a one off inspection, we cannot guarantee that there are no other defects than those mentioned in the report and also that defects can subsequently develop.

LAYOUT PLAN

We have used the estate agents floor plan as a guide to the layout of the building. We have not checked it for scale and accuracy.

WEATHER

It was a pleasant spring day at the time of the inspection. The weather did not hamper the survey.

In recent times our weather seems to be moving towards the extremities from its usual relatively mid range. Extremes of weather can affect the property.

NOT LOCAL

It should be noted the surveyors may not be local to this area and are carrying out the work without the benefits of local knowledge on such things as soil conditions, aeroplane flight paths, and common defects in materials used in the area etc.

EMPTY PROPERTY

The property was empty at the time of our survey, we were therefore not able to carry out our usual question and answer session or have our questionnaire filled out.

JAPANESE KNOTWEED

We have not inspected for Japanese Knotweed. We would advise that we are finding that some mortgage valuation surveyors are setting valuations at zero on any property with Japanese Knotweed and are reluctant to lend where it is present.

ACTION REQUIRED: You need to carry out your own investigations on this matter before you commit to purchase the property and be aware that it could be in neighbouring properties which you do not have direct control over.

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INSPECTION LIMITED

Unfortunately in this instance our inspection has been limited as:

- 1) We did not have a full view of the roof due to the insulation covering the ceiling joists and general configuration of the roof.
- 2) We did not open up the walls as we could not see a way of doing this without causing damage.
- 3) We did not open up the floors as we could not see a way to do it without causing damage.
- 4) The property was empty we did not have the benefit of talking to the owners or them answering our usual question and answers.

We thank you for taking the time to meet us during the survey.

BUILDING INSURANCE

We do not advise with regard to building insurance. You need to make your own enquiries. Some areas may have a premium, some buildings may have a premium and some insurers may be unwilling to insure at all in certain areas. You need to make your own enquires prior to committing to purchase the property. Please be aware the fact a building is currently insured does not mean it can be re insured.

We would comment that non-insurability of a building we feel will affect value. It is therefore essential to make your own enquiries with regard to insurance before committing to purchase the property and incurring fees.

ACTION REQUIRED: You need to contact an insurance company today to make enquiries with regard to insurance on this property.

TERMS AND CONDITIONS

Our computer system sends two copies of our Terms and Conditions to the email address given to us when booking the survey; one has the terms attached and the other has links to the Terms and Conditions on our website (for a limited time). If you have not received these please phone your contact immediately.

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APPENDICES

1. Flooding information
2. The electrical regulations – Part P of the Building Regulations
3. Information on the Property Market
4. French Drain Article

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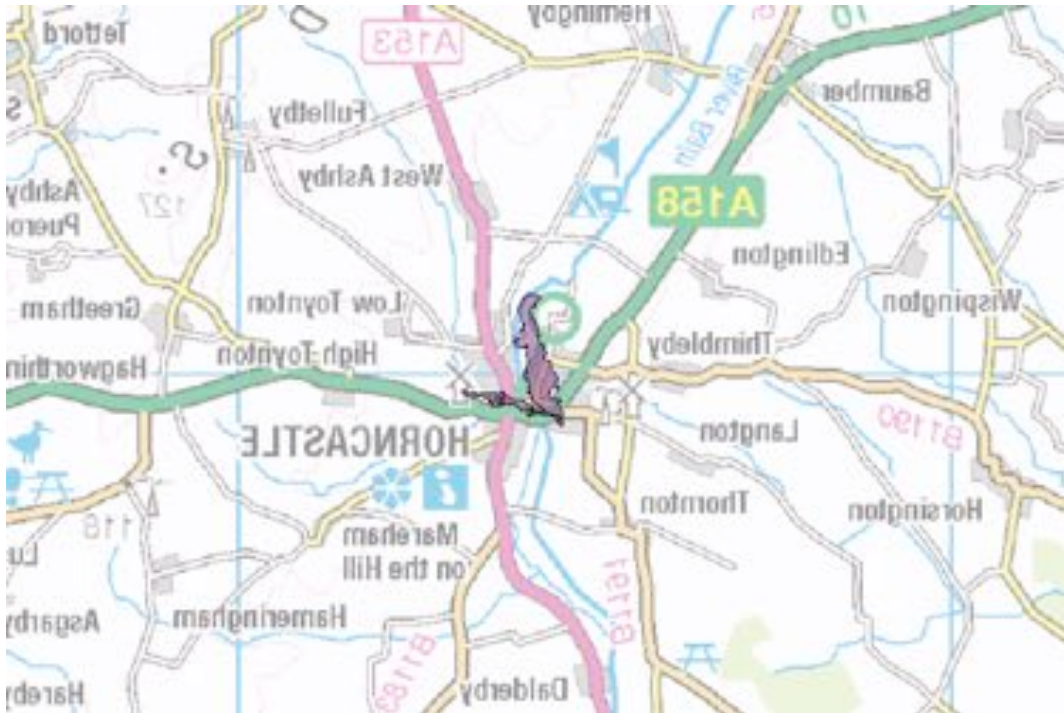
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FLOODING INFORMATION

Map from environment-agency.gov.uk website



Further information on flooding in the area:

<https://www.riverlevels.uk/flood-warning-river-bain-in-horncastle#.Vw5F3Xp7WeQ>

<http://www.horncastlenews.co.uk/news/local/flooding-2012-the-lincolnshire-picture-24-hours-on-1-4006760>

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THE ELECTRICAL REGULATIONS – PART P OF THE BUILDING REGULATIONS

Here is our quick guide to the Regulations, but please take further advice from a qualified and experienced electrician.

From 1st January 2005, people carrying out electrical work in homes and gardens in England and Wales must follow new rules in the building regulations. All significant electrical work carried out in the home will have to be undertaken by a registered installer or be approved and certified by the local authority's building control department. Failure to do so will be a legal offence and could result in a fine. Non-certified work could also put your household insurance policy at risk.

If you can't provide evidence that any electrical installation work complies with the new regulations, you could have problems when it comes to selling the property.

There will be two ways in which to prove compliance:

1. A certificate showing the work has been done by a Government-approved electrical installer - NICEIC Electrical Contractor or equivalent trades body.
2. A certificate from the local authority saying that the installation has approval under the building regulations.

Homeowners will still be able to do some minor electrical jobs themselves. To help you, we've put together this brief list of dos and don'ts.

Work You Cannot do Yourself

- Complete new or rewiring jobs.
- Fuse box changes.
- Adding lighting points to an existing circuit in a 'special location' like the kitchen, bathroom or garden.
- Installing electrical earth connections to pipework and metalwork.
- Adding a new circuit.

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INFORMATION ON THE PROPERTY MARKET

We used to include within our reports articles on the property market that we thought would be of interest and informative to you, however we were concerned that in some cases these did not offer the latest information. We have therefore decided to recommend various websites to you, however it is important to realise the vested interest the parties may have and the limits to the information.

www.landreg.org.uk

This records the ownership of interests in registered land in England and Wales and issues a residential property price report quarterly, which is free of charge. The Land Registry is a Government body and records all transactions as far as we are aware, although critics of it would argue that the information is often many months out of date.

www.rics.org.uk

The Royal Institution of Chartered Surveyors offer quarterly reports via their members. Although this has been criticised as being subjective and also limited, historically their predictions have been found to be reasonably accurate.

www.halifax.co.uk and www.nationwide.co.uk

Surveys have been carried out by these two companies, one now a bank and the other a building society for many years. Information from these surveys is often carried in the national press. It should be remembered that the surveys only relate to mortgaged properties, of which it is generally considered represents only 75% of the market. It should also be remembered that the national coverage of the two companies differs and that they may be offering various incentives on different mortgages, which may taint the quality of information offered. That said they do try to adjust for this, the success or otherwise of this is hard to establish.

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www.hometrack.co.uk

This gives information with regard to house sale and purchase prices.

www.motleyfool.co.uk

We also like the Motley Fool website which is a general financial site and although it is selling financial services and other services they do tend to give a very readable view of the housing market.

www.rightmove.co.uk

This is probably the largest Internet search engine for estate agency sales and also has useful information with regard to prices of property (but it is not the same as having a chartered surveyor value it).

www.zoopla.co.uk

This is a good website for seeing the prices of properties for sale in a certain postcode area.

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French Drain

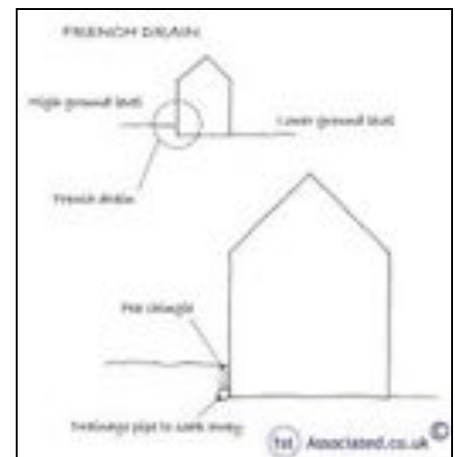
Using a French drain to resolve a dampness problem

We are finding where we are asked to look at damp walls and damp floors or damp problems in general that commonly it is because the external ground level is higher than the internal ground level, or airbricks have been blocked, or simply paving slabs, decking or briquettes have been used to form a patio area. This then discharges any rainwater against the building. Quite often the solution is to add a French drain.

Whilst French drains are quite simple and are basically nothing more than trenches filled with gravel, although there is a bit more to them, as we will explain, they are almost a D.I.Y. job for most people and they are relatively easy to install and are low cost. However, you do need some care and attention, otherwise you can install what we have heard referred to, as the French pond.

What use is a French drain?

A French drain is a trench, the width of approximately six inches or 300 millimetres wide, or the width of your spade, and is approximately twice the depth, i.e. 12 inches or 300 millimetres. In most cases this will suffice, however, where there is a great deal of ground water you may wish to make the trench wider and deeper.



The French drain acts as an area where water soaks away quickly. We often recommend them close to building, but not next to the building, as this helps reduce the ground level and/or take any water that is directed at that area away. For example, where a patio has been put in place which aims any rainwater at part of the wall. As mentioned, whilst a French drain is a D.I.Y. job, it does need some understanding of how it works.

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French drains must be on a slope

The piping that goes at the base of a French drain should be perforated or, as we did years ago for land drains, there should be gaps between each pipe. It should be set onto a bed of firm ground and the pipes should on a fall to the drain. Whilst you should be able to ensure there is enough fall by sight, we also like the idea of rolling a marble from one end to the other.

You will then need to put the pipes down, fill the trench with half an inch, to an inch, of good sized gravel. You can leave it at that, or in addition you can cover with sand and then turf over. This is how a basic French drain is carried out.

The French drain system that we would recommend

This would be as described, although we would add to the base an inch or two of gravel on to which the perforated drainage pipe will rest. It will then wrap around that drainage pipe filter fabric. This is to stop the holes in the perforated pipe from blocking up. By the way, the drainage pipe should be four to six inches/100 millimetres to 250 millimetres. We would then fill with gravel. In addition to this, we would add a silt trap and this is added in the run of the pipe and is very similar to a road gully (not that's of much use if you don't understand how a road gully works). The silt trap is a rectangular box with a pipe opening at each end. The drained water passes onto this and any particles sink to the bottom of the box and then the water travels on to the other side of the box, enabling you to feed into a drain.

These are usually made of glass reinforced polyester and have been available in this form since the mid-1980's. They are normally reinforced with a steel frame for additional strength and re-bedded in concrete.

The French pond!

French drains will, over time, clog up, which is why we recommend using a filter fabric. However, even with this they will eventually clog up. Unfortunately, there is no dyno-rod equivalent, as it is normally fine sand, organic matter or clay that has clogged up the French drain. So, it is a case of digging it up and cleaning the pipework (or it may be quicker to just replace it), adding a filter fabric and re-filling the gravel.

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